

**Marked Agendas  
Approved Minutes  
Approved Reports**

# PLANNING COMMISSION REPORT



Meeting Date: April 24, 2019  
General Plan Element: *Land Use*  
General Plan Goal: *Create a sense of community through land uses*

## ACTION

### Deer Valley Townhomes 3-ZN-2017

#### Request to consider the following:

1. A recommendation to City Council regarding a request by applicant for a zoning map amendment, for a +/-1-acre site (212-02-010E), from the Planned Convenience Center (PCoC) district, to the Medium Density Residential (R-3) district, to allow for the development of a 9-unit, townhome community, located on the northwest corner of E. Deer Valley Road and N. Miller Road, at 21818 N. Miller Road.

#### Goal/Purpose of Request

The applicant's request is to rezone the subject site to allow for a 9-unit residential project. The zoning map amendment will allow for a use that is similar in density to communities located in the surrounding area.

#### Key Items for Consideration

- 2001 General Plan
- The proposal includes Desert Scenic Roadway dedications along E. Deer Valley Road
- Previous commercial, retail, and restaurant uses approved on this site
- Comments Submitted in Opposition

## OWNER

Beardsley 22, Inc.  
222 W. Linger Lane  
Phoenix AZ 85021

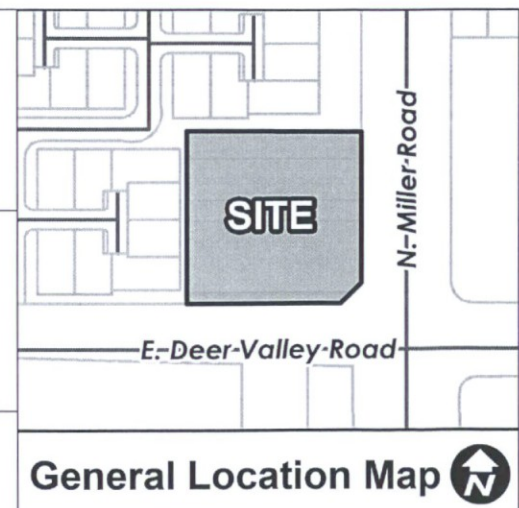
## APPLICANT CONTACT

Masuda Yasmin  
Whitney/Bell Architects Inc.  
602-265-1891

## LOCATION

21818 N. Miller Road

Action Taken \_\_\_\_\_



## BACKGROUND

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### General Plan

The City of Scottsdale General Plan 2001 Land Use Element designates the property as Urban Neighborhoods (See Attachment #4), which includes areas of multi-family with densities usually more than eight dwellings per acre. The applicant proposes 9 townhome units on a +/- 1.61 gross acre site – equating to +/- 5.6 dwelling units per acre. Typically, requests for densities similar to the one being proposed would align with the Suburban Neighborhoods land use designation (more than 1, but less than 8 units per acre); however, the requested density – as compared to existing Urban Neighborhood developments within the area – and the development type being proposed (townhomes) more closely aligns with the Urban Neighborhoods land use category.

### Zoning

The site is zoned Planned Convenience Center (PCoC). The Planned Convenience Center (PCoC) zoning district allows for basic convenience goods shopping and services within walking distance of nearby residences. The district provides for retail and service establishments which supply commodities or perform services to meet the daily needs of the neighborhood.

The site was annexed into the City of Scottsdale in January 2, 1982. The site was then zoned to Single-family Residential District (R1-43), from the then County zoning designation, through case 32-ZN-1982, in July of the same year. In May of 1990, the site was rezoned from the Single-family Residential District (R1-43), to the existing Planned Convenience Center (PCoC) zoning designation.

In 1998, the site was approved for two Conditional Use Permits (cases 34-UP-1998 and 35-UP-1998) for a Gasoline Service Station and for a drive-thru bank. The site plan identified two buildings, open space, and parking areas. The project was never constructed, and the site remains undeveloped.

Similarly, in March of 2007, the site received Development Review Board approval for a retail, grocery, and restaurant building. This approved project was also not constructed.

### Context

The subject property is located on the immediate northwest corner of E. Deer Valley Road and N. Miller Road. Please refer to context graphics attached.

### Adjacent Uses and Zoning

- North: Multiple-family Residential, zoned R-5; Arizona Silverado Community.
- South: Service Residential, Planned Community District, zoned S-R/PCD; Vacant (State Land).
- East: Townhouse Residential, Environmentally Sensitive Lands, zoned R-4/ESL; Sonoran Hills Community (City of Scottsdale well site).
- West: Multiple-family Residential, zoned R-5; Arizona Silverado Community.

### Other Related Policies, References:

32-ZN-1982, 39-ZN-1989, 34-UP-1998, 35-UP-1998, and 12-DR-2007

2001 City of Scottsdale General Plan, as amended

1-GP-2004: Scenic Roadway Designations

2008 Transportation Master Plan

Design Standards and Policies Manual

## APPLICANTS PROPOSAL

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### Development Information

The development proposal includes a request to rezone the subject property to establish a multi-family condominium community. The development proposal identifies three separate buildings totaling 9 units: one 5-unit building and two 2-unit buildings. The majority of the drainage improvements are existing and were constructed with previous surrounding projects (Arizona Silverado community).

• Existing Use:	Vacant (Drainage Improvements)
• Proposed Use:	9 Multi-family Residential Units
• Parcel Size:	+/-1 acre (net lot area)
• Building Height Allowed:	30 feet
• Building Height Proposed:	30 feet
• Parking Required:	18 spaces (2 spaces per unit)
• Parking Provided:	18 spaces (2 spaces per unit)
• Open Space Required:	15,682 square-feet
• Open Space Provided:	18,107 square-feet
• Frontage Open Space Required:	5,227 square-feet
• Frontage Open Space Provided:	7,652 square-feet
• Private Open Space Required:	1,600 square-feet
• Frontage Open Space Provided:	2,832 square-feet
• Density Allowed:	12 units
• Density Proposed:	9 units

## IMPACT ANALYSIS

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### Land Use

The applicant proposes nine (9) townhome units on a +/- 1.61 acre site – equating to +/- 5.6 dwelling units per acre. The Arizona Silverado development (39-ZN-1989), located immediately west and north of the subject, site was built at +/- 5.5 dwellings per acre and is designated as Urban Neighborhoods within the 2001 General Plan. Similarly, the Sonoran Hills Parcel E development (24-ZN-1990), located immediately east of the subject site, was built at +/- 4.7 dwellings per acre and is designated as Urban Neighborhoods within the 2001 General Plan. As such, the applicant's proposal both matches the density and type of development in the immediate area, thus aligning with the Urban Neighborhoods land use designation.

The existing zoning allows for a maximum of four (4) dwelling units per acre of gross lot area. This would allow for the site to provide 5 dwelling units under the existing zoning. The proposed zoning allows for twelve (12) units, with the applicant proposing nine (9) units. The existing zoning requires 24.72 percent of the net lot area to be provided as open space. The proposed zoning will require 36 percent of the site to be provided as open space – not including the private open space requirement. The applicant is providing the same amount of frontage open space with either zoning development requirements.

The applicant has stated that commercial uses have been a challenge to implement on the subject site. In 1998, the site was approved for two Conditional Use Permits (cases 34-UP-1998 and 35-UP-1998) for a Gasoline Service Station and for a drive-thru bank. The project was never constructed, and the site remains undeveloped. Again, in March of 2007, the site received Development Review Board approval for a retail, grocery, and restaurant building. This approved project was also not constructed.

### **Airport Vicinity**

The proposed development falls within a portion of the Airport Influence Area, AC-1. The code states that if a parcel is in two or more areas labeled AC-1, AC-2 and AC-3 shown on Figure 1, Airport Influence Area, the entire parcel shall meet the requirements of the most restrictive area. The Airport Influence Area, AC-1 is located along the southern boundary of the property, and no structures will encroach into the AC-1 area.

The owner has been stipulated to submit the FAA response to FAA Form 7460-1 and provide an aviation easement satisfactory to the city attorney's office prior to final plan approval. The owner has also been stipulated to make a fair disclosure to each purchaser of the Airport Influence Area. If a development is subject to Covenants, Conditions and Restrictions (CC&Rs), the owner shall include the disclosure in the Codes, Covenants, and Restrictions.

### **Transportation**

The increase in density will not create a significant increase in traffic to the area. The proposal meets all transportation requirements. Parking for the proposed site requires 18 spaces, 18 space are proposed as being provided. The ordinance does not require any additional parking for guest parking – not addressing neighborhood concern. The refuse enclosure will provide a rusted-steel finish, and view of the enclosure shall be minimized with landscaping (See Attachments #2 - Exhibit A to Attachment 1 and #2 - Exhibit C to Attachment 1).

Currently, the site provides two vehicular access points to the site; a driveway along the N. Miller Road frontage, and a driveway along the E. Deer Valley Road frontage. The N. Miller Road driveway will be relandscape and removed as an access point. The site will enter and exit form E. Deer Valley Road. The proposed site plan identifies pedestrian connections to N. Miller Road, E. Deer Valley Road, and into the Arizona Silverado community.

### **Water/Sewer**

The site is a vacant lot with a channel along the east side. There are several existing water and sewer lines surrounding the property. Deer Valley Road has an existing sanitary sewer line that flows east to west. A sewer line exists in N. Miller Road that flows south. The proposed zoning map amendment will not affect the existing improvement requirements for the area. A private sewer line will service the site.

The proposed sewer system will utilize the existing sewer stub to the property and tie into the main within Calistoga Circle. A sewer line will service the site to each home. The downstream sewer main and wastewater treatment plant has sufficient capacity to support the project's sewer proposed flows. The sewer flow from the project will be conveyed to the City of Scottsdale Wastewater Treatment Plant, 4.2 miles downstream.

### **Public Safety**

Design of the internal driveways and aisles will conform to the driveway designation in the Design and Standards Policies Manual.

### **School District Comments/Review**

The applicant sent a letter of notification to the Scottsdale School District and Scottsdale School District responded that there exists adequate facilities to support the rezoning request.

### **Open Space**

The proposed zoning designation requires 15,682 square-feet of open space for the proposed site size. The open space and landscape plans identify the site providing 18,107 square-feet of total open space. The frontage open space requirement for the proposal is 5,227 square-feet; with 7,652 square-feet being provided. The multi-family units shall provide 1,600 square-feet of private open space for all nine (9) units; with 2,832 square-feet being provided.

The owner will be providing a 50-foot average Desert Scenic Buffer setback along E. Deer Valley Road. The applicant will be landscaping this area, minus area identified as driveway/aisle or as the refuse enclosure.

### **Community Involvement**

The applicant conducted two open house meetings with the initial submittal of the proposed zoning map amendment. The first meeting was held on February 27, 2016, at the Pinnacle Presbyterian Church. The second meeting was held on February 27, 2017, at the Appaloosa Library. The applicant reported receiving comments in regards to location of trash enclosures, guest parking, privacy, property values, and walkways/trails.

Due to the fact that the case has been in process for a couple of years, the applicant conducted a third neighborhood meeting on October 16, 2018, at the Appaloosa Library. The concerns were reported to be similar in nature, with inclusion of concerns about landscaping and maintenance of the existing drainage channel found on the subject site. Please see Attachments #14 and #15 for a more detailed look at the community involvement.

### **Community Impact**

The request, if approved, will introduce nine (9) additional residential units to the area. The increase in density will not create a significant increase in traffic. The community, as identified in the neighborhood meeting reports, has expressed concerns about guest parking. The ordinance does not require the proposed zoning district to provide guest parking. The applicant attempted to provide guest parking but did not due to the site's limited area.

The project has been stipulated to provide four (4) thirty-six-inch box trees and four (4) forty-eight-inch box trees along the norther boundary of the site to provide a vegetative buffer between this site and the neighborhood to the north. The additional vegetation would provide more privacy.

The project provides pedestrian connections to N. Miller Road, E. Deer Valley Road, and into the Arizona Silverado community. The proposed connections are designed to complete pedestrian fluidity among the communities located in this area. Some neighbors are concerned with residents from the subject project entering the existing Arizona Silverado community. A gate may be placed at the point of contact for both communities to lessen the inviting feeling of the connection.

### **Policy Implications**

The proposed zoning district designation is consistent with the existing General Plan designation for this site. The zoning map amendment would introduce a new condominium project with similar characteristics and density to the surrounding neighborhood, as well as the introduction of a use that has been more successful than previous commercial attempts.

The elevations for the proposed condominium project will be required to be reviewed and approved by the Development Review Board through a separate application.

### **STAFF RECOMMENDATION**

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#### **Recommended Approach:**

Staff recommends that the Planning Commission determine that the proposed zoning district map amendment is consistent and conforms with the adopted General Plan, and make a recommendation to City Council for approval of the zoning district map amendment, per the attached stipulations.

### **RESPONSIBLE DEPARTMENT**

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#### **Planning and Development Services**

Current Planning Services

### **STAFF CONTACT**

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Jesus Murillo  
Senior Planner  
480-312-7849  
E-mail: [jmurillo@scottsdaleAZ.gov](mailto:jmurillo@scottsdaleAZ.gov)

**APPROVED BY**

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Jesus Murillo, Report Author

4-11-19

Date



Tim Curtis, AICP, Current Planning Director  
480-312-4210, tcurtis@scottsdaleaz.gov

4/11/2019

Date



Randy Grant, Director  
Planning and Development Services  
480-312-2664, rgrant@scottsdaleaz.gov

4/16/19

Date

## ATTACHMENTS

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1. Context Aerial
- 1A. Aerial Close-Up
2. Stipulations
  - Exhibit A to Attachment 2: Site Plan
  - Exhibit B to Attachment 2: Hardscape Plan
  - Exhibit C to Attachment 2: Open Space Plan
  - Exhibit D to Attachment 2: Landscape Plan
3. Applicant's Narrative
4. General Plan Land Use Map
5. Existing Zoning Map
6. Proposed Zoning Map
7. Approved Conditional Use Permit - Gasoline Service Station (34-UP-1998)
8. Approved Conditional Use Permit - Drive-thru Bank (35-UP-1998)
9. Approved Development Review Board Site Plan (12-DR-2007)
10. Proposed Site Plan (Color)
11. Proposed Landscape Plan (Color)
12. Proposed Grading and Drainage Plan
13. Proposed Parking Plan
14. Citizen Involvement – October 16, 2018 Open House
15. Citizen Involvement – February 27, 2016 and February 27, 2017 Open Houses
16. Public Correspondence
17. AC-1 Influence Area Map
18. City Notification Map



## Deer Valley Townhomes

ATTACHMENT #1

3-ZN-2017



Q.S.  
43-45

Google Earth Pro Imagery

Deer Valley Townhomes

ATTACHMENT #1A

3-ZN-2017

**Stipulations for the Zoning Application:**  
**Deer Valley Townhomes**  
**Case Number: 3-ZN-2017**

These stipulations are in order to protect the public health, safety, welfare, and the City of Scottsdale.

**SITE DESIGN**

1. **PROTECTION OF ARCHAEOLOGICAL RESOURCES.** Any development on the property is subject to the requirements of Scottsdale Revised Code, Chapter 46, Article VI, Protection of Archaeological Resources, Section 46-134 - Discoveries of archaeological resources during construction.
2. **CONFORMANCE TO CONCEPTUAL SITE PLAN.** Development shall conform with the conceptual site plan submitted by Whitneybell Perry and with the city staff date of 3-27-2019, attached as Exhibit A to Attachment 2. Any proposed significant change to the conceptual site plan, as determined by the Zoning Administrator, shall be subject to additional action and public hearings before the Planning Commission and City Council.
3. **CONFORMANCE TO CONCEPTUAL HARDSCAPE PLAN.** Development shall conform with the conceptual hardscape plan submitted by Whitneybell Perry and with the city staff date of 3-27-2019, attached as Exhibit B to Attachment 2. Any proposed significant change to the conceptual site plan, as determined by the Zoning Administrator, shall be subject to additional action and public hearings before the Planning Commission and City Council.
4. **CONFORMANCE TO CONCEPTUAL OPEN SPACE PLAN.** Development shall conform with the conceptual open space plan submitted by Whitneybell Perry and with the city staff date of 3-27-2019, attached as Exhibit C to Attachment 2. Any proposed significant change to the conceptual site plan, as determined by the Zoning Administrator, shall be subject to additional action and public hearings before the Planning Commission and City Council.
5. **CONFORMANCE TO CONCEPTUAL LANDSCAPE PLAN.** Development shall conform with the conceptual landscape plan submitted by Whitneybell Perry and with the city staff date of 3-27-2019, attached as Exhibit D to Attachment 2. Any proposed significant change to the conceptual site plan, as determined by the Zoning Administrator, shall be subject to additional action and public hearings before the Planning Commission and City Council.
  - a. With Development Review Board submittal, the owner shall provide a total of four (4) thirty-six-inch box trees and four (4) forty-eight-inch box trees along the norther boundary of the site.
  - b. With Development Review Board submittal, the owner shall provide the pattern to be provided on the rusted-metal refuse enclosure.

6. **MAXIMUM DWELLING UNITS/MAXIMUM DENSITY.** Maximum dwelling units and maximum density shall be as indicated on the Land Use Budget Table below.

Land Use Budget Table						
Parcel	Gross Acres	Zoning	Proposed DU/AC	Max DU/AC	Propose # of Units / Lots	Max # of Units / Lots
212-02-010E	1.61 acres	Proposed R-3	9 du/ac	9 du/ac	9 units	9 units

Redistribution of dwelling units is subject to the maximum density in the Land Use Budget Table and subject to city staff approval. The owner's redistribution request shall be submitted with the preliminary plat submittal to the Development Review Board and shall include a revised Master Development Plan and a revised Land Use Budget Table indicating the parcels with the corresponding reductions and increases.

7. **BUILDING HEIGHT LIMITATIONS.** No building on the site shall exceed 30 feet in height, measured as provided in the applicable section of the Zoning Ordinance.
8. **ALTERATIONS TO NATURAL WATERCOURSES.** Any proposed alteration to the natural state of watercourses with a peak flow rate of 750 cfs or less based on the 100 year – 2 hour rain event shall be subject to Development Review Board approval.
9. **OUTDOOR LIGHTING.** The maximum height of any outdoor lighting source, except any light sources for patios and/or balconies, shall be 12 feet above the adjacent finished grade.
10. **OUTDOOR LIGHTING FOR PATIOS AND BALCONIES.** Light sources that are utilized to illuminate patios and/or balconies that are above 12 feet shall be subject to the approval of the Development Review Board.
11. **DRIVE AISLES.** No drive aisle shall be less than twenty-four (24) foot wide exclusive of curb and gutter.
12. **PARKING STALL.** No parking stalls shall be placed in blind spot of drive aisles based on proximity of buildings.
13. **ACCESS RESTRICTIONS.** Access to the development project shall conform to the following restrictions:
  - a. There shall be no site driveway(s) access location(s) to N. MILLER ROAD.
  - b. There shall be ONE (1) site driveway(s) access location(s) to E. DEER VALLEY ROAD to conform to the city's CL-1 driveway standards.
14. **SOUND ATTENUATION MEASURES.** With the construction document submittal, the owner shall submit plans and documentation demonstrating that the development has been designed shall be constructed to reduce interior to exterior noise by at least 25 decibels, in accordance with the most recent the noise attenuation measures at the time of the construction document submittal, and set forth in Section 4.00 of Appendix F of the FAA part 150 noise Compatibility Study, as amended.

## **DEDICATIONS**

15. **RIGHT-OF-WAY DEDICATIONS.** Prior to any permit issuance for the development project, the owner shall make the following fee simple right-of-way dedications to the City of Scottsdale:
  - a. **N. MILLER ROAD.** Ten (10) foot dedication, for a total sixty-five (65) foot wide west half-right-of-way width.
16. **VEHICLE NON-ACCESS EASEMENT.** Prior to issuance of any permits for the development project, the owner shall dedicate a one-foot-wide Vehicular Non-Access Easement adjacent to the existing driveway connection to N. MILLER ROAD
17. **DESERT SCENIC ROADWAY SETBACKS LOCATION, EASEMENT, AND IMPROVEMENTS.** Prior to issuance of any permit for the development project, the owner shall dedicate an average 50-foot-wide continuous Desert Scenic Roadway Easement to across the lot along the E. Deer Valley front. The width of the Desert Scenic Roadway Easement shall be measured from E. Deer Valley Road. Unless otherwise approved by the Development Review Board, the area within the Scenic Corridor Easement shall be left in a natural condition.
18. **VISTA CORRIDOR EASEMENTS.** Prior to issuance of any permit for the development project, the owner shall dedicate to the City a continuous Vista Corridor Easement to cover any watercourse with a peak flow rate of 750 cubic feet per second or greater, based on the 100 year – 2 hour rain event. The minimum width of the easement(s) shall be one hundred feet. Each easement shall include, at a minimum, any existing low flow channels, all major vegetation, and the area between the tops of the banks of the watercourse. At the time of the Development Review Board submittal, the owner shall stake the boundaries of the Vista Corridor Easement(s), as determined by city staff. Unless approved by the Development Review Board, the area within the Vista Corridor Easements shall be left in a natural state.
19. **PUBLIC NON-MOTORIZED ACCESS EASEMENT.** Prior to issuance of any permit for the development project, the owner shall dedicate to the City a continuous Public Non-Motorized Access Easement to the City of Scottsdale to contain the public sidewalk in locations where the sidewalk crosses on to the lot.
  - a. **AVIGATION EASEMENT.** Prior to the issuance of any permit, the owner shall dedicate an Avigation Easement, in a form acceptable to the City Attorney, or designee.
  - b. No structures shall be constructed within the Airport Influence Area, AC-1.
  - c. The owner shall make a fair disclosure to each purchaser of the Airport Influence Area. If a development is subject to Covenants, Conditions and Restrictions (CC&Rs), the owner shall include the disclosure in the Codes, Covenants, and Restrictions.

## **INFRASTRUCTURE**

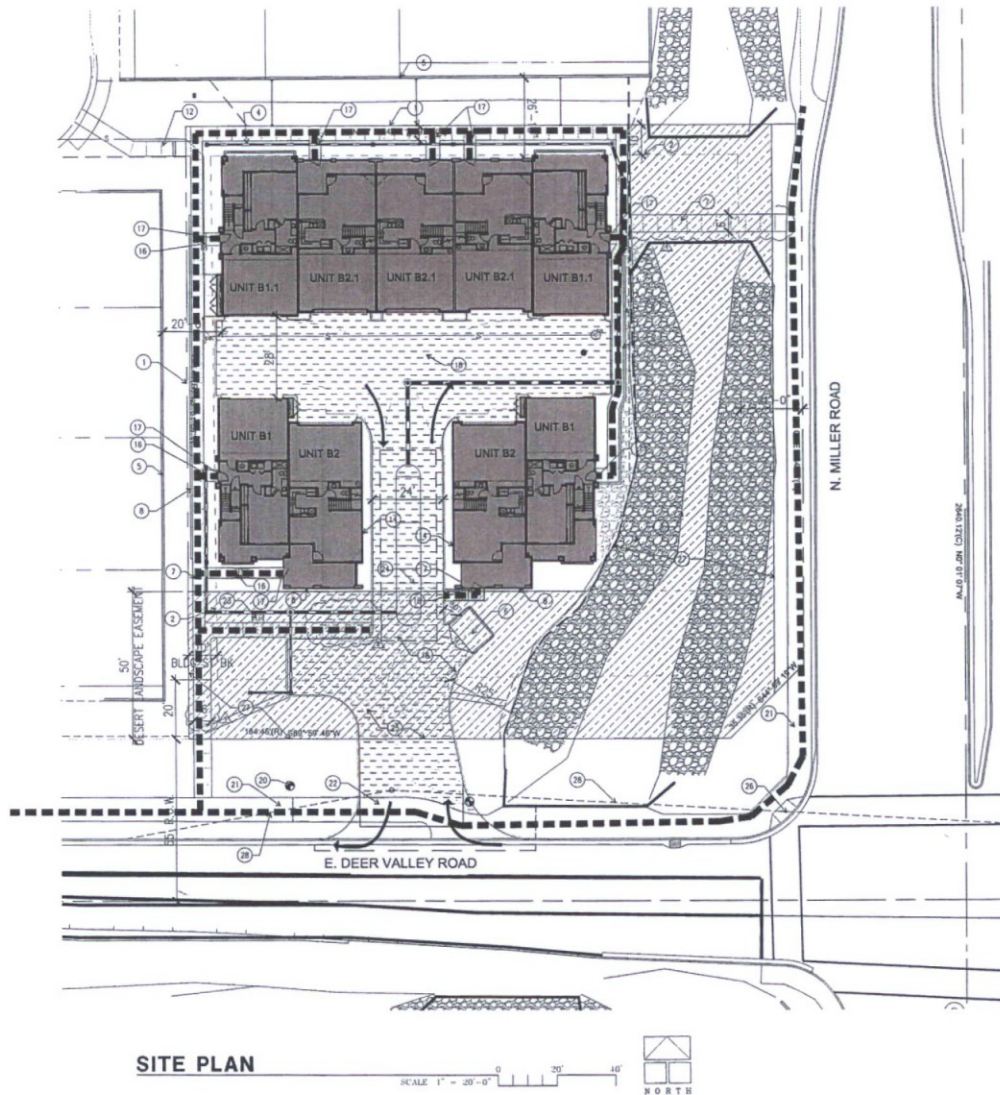
20. **CONSTRUCTION COMPLETED.** Prior to issuance of any Certificate of Occupancy or Certification of Shell Building, whichever is first, for the development project, the owner shall complete all the infrastructure and improvements required by the Scottsdale Revised Code and these stipulations.
21. **STANDARDS OF IMPROVEMENTS.** All improvements (curb, gutter, sidewalk, curb ramps, driveways, pavement, concrete, water, wastewater, etc.) shall be design and constructed in accordance with the applicable City of Scottsdale Supplements to the Maricopa Association of Governments (MAG) Uniform Standard Specifications and Details for Public Works Construction, Maricopa Association of

Governments (MAG) Uniform Standard Specifications and Details for Public Works Construction, the Design Standards and Policies Manual (DSPM), and all other applicable city codes and policies.

22. CIRCULATION IMPROVEMENTS. Prior to any permit issuance for the development project, the owner shall submit and obtain approval of construction documents to construct the following improvements:
  - a. E. DEER VALLEY ROAD
    - i. Construct additional pavement along site frontage to provide a minimum lane width of eleven (11) feet for left turning vehicles at the proposed site entrance with city standard tapers extended outside limits of site frontage transitioning to existing markings.
23. WATER AND WASTEWATER IMPROVEMENTS. Prior to any permit issuance for the development project, the owner shall submit and obtain approval of construction documents to construct all water and wastewater infrastructure improvements, including any new service lines, connection, fire-hydrants, and man-holes, necessary to serve the development.
24. WATER AND SEWER FACILITIES EASEMENT. Prior to any permit issuance for the development project, the owner shall secure a twenty (20) foot water and sewer facilities easement to the city of Scottsdale from adjacent project community owner's association for the water and sewer facilities located within Tract E of the Arizona Silverado subdivision being utilized by and for this project.
25. FIRE HYDRANT. The owner shall provide fire hydrant(s) and related water infrastructure adjacent to lot, in the locations determined by the Fire Department Chief, or designee.

#### **REPORTS AND STUDIES**

26. DRAINAGE REPORT. With the Development Review Board submittal, the owner shall submit a Drainage report in accordance with the Design Standards and Policies Manual for the development project. In the drainage report, the owner shall address:
  - a. Manning's roughness coefficient and bank station locations used in HEC-RAS model is subject to review and revision upon subsequent project case submittal.
  - b. Easement over proposed underground storage shall be renamed to D.E. from P.U.E.
27. BASIS OF DESIGN REPORT (WATER). With the Development Review Board (DRB) submittal, the owner shall submit a Final Basis of Design Report for Water for the development project in accordance with the Design Standards and Policies Manual for approval prior to DRB approval.
28. BASIS OF DESIGN REPORT (WASTEWATER). With the Development Review Board submittal, the owner shall submit a Final Basis of Design Report for Wastewater for the development project in accordance with the Design Standards and Policies Manual for approval prior to DRB approval.
29. FAA DETERMINATION. With the Development Review Board Application, the owner shall submit a copy of the FAA Determination letter on the FAA FORM 7460-1 for any proposed structures and/or appurtenances that penetrate the 100:1 slope. The elevation of the highest point of those structures, including the appurtenances, must be detailed in the FAA form 7460-1 submittal. Prior to any permit issuance for the development project, the owner shall provide noise disclosure notice to occupants, potential homeowners, employees and/or students in a form acceptable to the Scottsdale Aviation Director.



## DEVELOPMENT DATA

### DEVELOPER/OWNER :

BEARDLEY 22, INC.  
222 W. LINCOLN LN  
PHOENIX, AZ 85011  
PH: (602) 817-8807  
E-MAIL: GWERNER@COX.NET  
CONTACT: GERALD WEBNER

### ARCHITECTURAL :

WHITNEYBELL PERRY INC  
575 W CHANDLER BLVD  
SUITE 123  
CHANDLER, AZ 85224  
PH: (602) 265-1891 FAX: (480) 821-0148  
CONTACT: MIKE PERRY, AIA, NCARB, LEED AP

### CIVIL :

TERRASCAPE CONSULTING  
1102 E MISSOURI AVE  
PHOENIX, AZ 85014  
PH: (602) 261-6723 FAX: (602) 230-8458  
CONTACT: USA NELSON, P.E.

### LANDSCAPE :

PHILIP R RYAN LANDSCAPE ARCHITECT  
4914 S GARY WAY  
GILBERT, AZ 85295  
PH: (480) 899-5813 FAX: (480) 963-3974  
CONTACT: PHIL RYAN, L.A.

## SITE DATA

**SITE ADDRESS:**  
4914 S GARY WAY  
21818 N. MILLER RD  
SCOTTSDALE, AZ 85255

### APN:

P10-02-016

### ZONING:

EXISTING: PLANNED CONVENIENCE CENTER (PCC)

PROPOSED: MEDIUM DENSITY RESIDENTIAL (R-2)

### SITE AREA:

NET: 43.361 SF = 1.0 ACRES  
GROSS: 68,338.53 SF = 1.51 ACRES

### BUILDING AREA:

2 STORY BLDG = 12,858 SF (BLDG FOOT PRINT)  
TOTAL BLDG AREA = 25,312 SF

### SITE COVERAGE:

25,312 SF / 43,361 SF = 58.38 OR 58%

### BUILDING HEIGHT:

REQUIRED = 20'-0" MAX  
PROPOSED = 2 STORY, 28'-4" (MAX.) TO TOP OF MANSARD ROOF

### UNIT MIX:

5 UNITS PROVIDED

### PARKING:

REQUIRED PARKING:  
2 SPACES PER TOWNHOME  
PROPOSED PARKING:  
18 SPACES (EACH UNIT 2 PRIVATE GARAGE SPACES)

### BICYCLE REQUIREMENT:

REQUIRED BICYCLE PARKING:  
2 SPACES PER TO VEHICLE PARKING SPACES  
18 VEHICLE SPACES = 4 SPACES  
PROVIDED: = 4 SPACES

## BUILDING DATA

### USE:

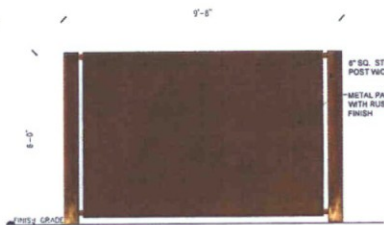
RESIDENTIAL GROUP R-2

### AUTOMATIC SPRINKLER SYSTEM

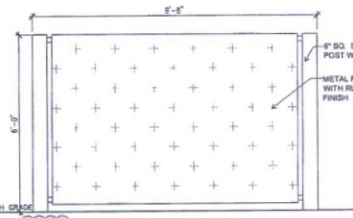
NFPA 13R SPRINKLER SYSTEMS

## SITE KEY NOTES

1. DEVELOPMENT PROPERTY LINE.
2. SETBACK LINE.
3. DRAINAGE EASEMENT.
4. LANDSCAPE AREA.
5. EXISTING SITE WALL FOR ARIZONA SILVERADO SUBDIVISION.
6. PROPOSED TRASH ENCLOSURE LOCATION. METAL PANEL SURROUND FOR ENCLOSURE WITH RUSTED FINISH AND DESIGN.
7. PROPOSED COLORED CONCRETE SIDEWALK.
8. PROPOSED RETAINING WALL WITH SAFETY RAIL. WALL HEIGHT VARIES. SEE CIVIL DRAWING.
9. ACCESSIBLE RAMP. COLOR CONCRETE FINISH. COLOR TO BLEND WITH DESERT COLORS.
10. NOT USED.
11. NOT USED.
12. 8' WIDE SIDEWALK CONNECTION TO EXISTING SUBDIVISION.
13. PROPOSED UNITS.
14. EXPOSED STEM WALL.
15. PRIVATE 2 CAR GARAGE IN EACH UNIT.
16. STAIR WITH GUARDRAIL AND HANDRAIL AT SIDE WALK. SEE CIVIL DRAWING.
17. ENTRANCE TO UNITS.
18. EMERGENCY TURNING - OUTSIDE RADIUS 55'-0"
19. NOT USED.
20. SALVAGER/RELOCATE EX. HYDRANT. SEE CIVIL DRAWING.
21. EXISTING SIDEWALK.
22. REMOVE EXISTING SIDEWALK FOR PROPOSED DRIVEWAY. INSTALL PROPOSED DRIVEWAY PER C.O.S. STANDARD. SEE CIVIL DRAWING.
23. BIKE RACK ON CONCRETE PAD.
24. EDGE OF COLOR CONCRETE PAVEMENT.
25. COLORED CONCRETE PAVEMENT IN DESERT EASEMENT AREA. CONCRETE COLOR TO BLEND WITH SURROUNDING DESERT COLOR.
26. ACCESSIBLE RAMP AT DEER VALLEY AND MILLER ROAD INTERSECTION. SEE CIVIL DRAWING.
27. DESERT LANDSCAPE EASEMENT ALONG DEER VALLEY ROAD AND FLOOD CONTROL EASEMENT ALONG MILLER ROAD.
28. SIGHT DISTANCE LINE.



METAL PANEL SURROUND AT REFUSE ENCLOSURE - COLOR



METAL PANEL SURROUND AT REFUSE ENCLOSURE



VICINITY MAP

## DEER VALLEY & MILLER

21818 N. MILLER ROAD  
SCOTTSDALE, AZ 85255

### REVISION SCHEDULE

1	2/28/19	CITY COMMENTS
2	3/19/19	CITY COMMENTS



## WHITNEYBELL PERRY INC

1102 East Missouri Avenue  
Phoenix, Arizona 85014  
575 W Chandler Blvd, Suite 123  
Chandler, Arizona 85224  
(602) 265-1891



## ARCHITECTURE AND PLANNING

# A1.01

1749

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1/9/2018 11:31 AM

## PRELIMINARY SITE PLAN

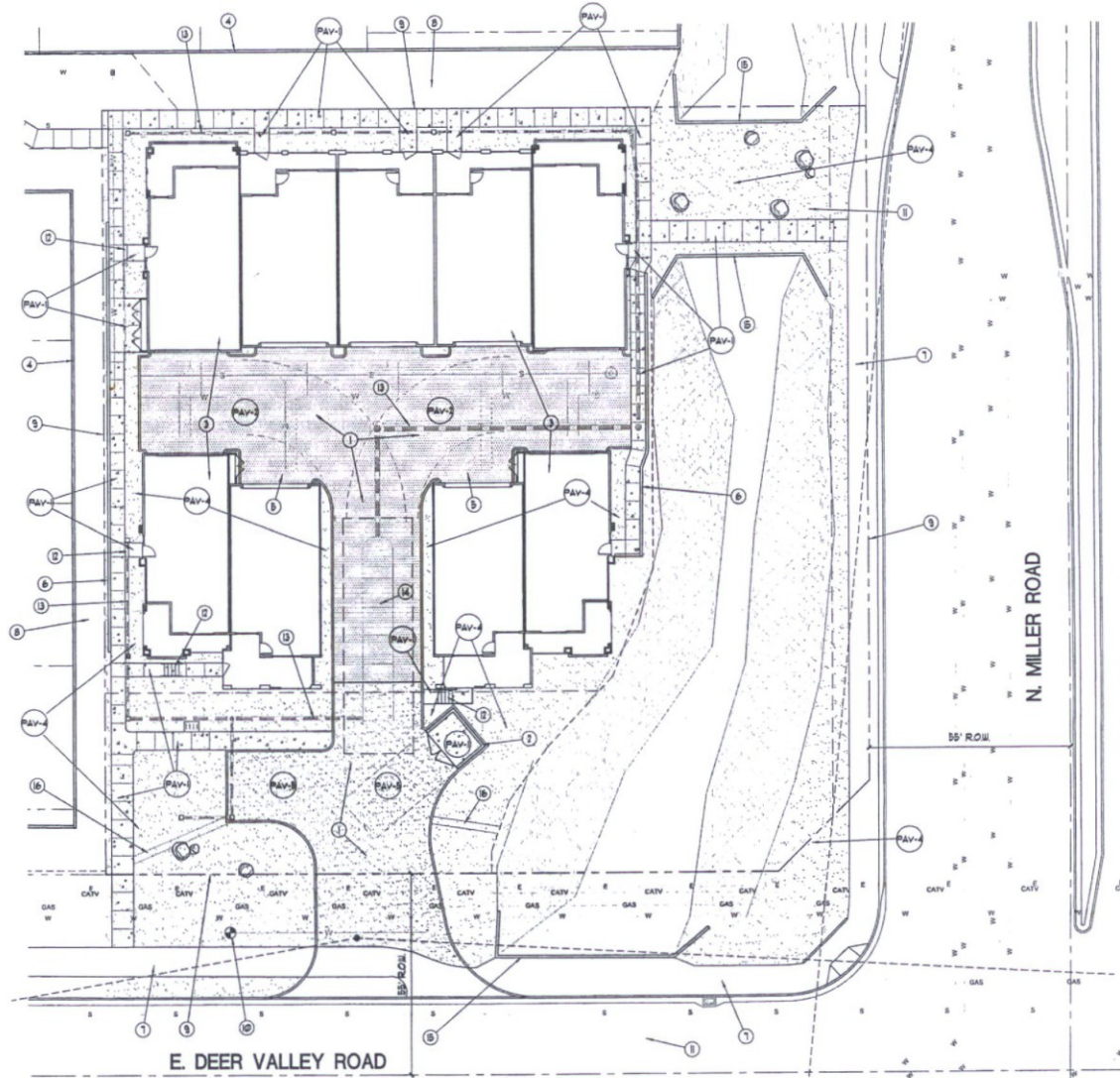
03-ZN-2017  
03/27/2019

### MATERIAL FINISH SCHEDULE:

TAG	MATERIAL	APPLICATION
PAV-1	BROOMED FINISH CONCRETE (INTEGRAL COLOR: SAN DIEGO BUFF)	SIDEWALKS & PATHS
PAV-2	ASPHALT DRIVEWAY	GROUND LEVEL DRIVEWAY
PAV-3	NATIVE VEGETATION & COBBLE	FOR EXISTING DRAINAGE WAY
PAV-4	DECOMPOSED GRANITE	LANDSCAPE TOPDRESSING
PAV-5	INTEGRAL COLOR CONCRETE COLOR: SAN DIEGO BUFF	DRIVEWAY

### HARDSCAPE KEY NOTES:

- 1 DRIVEWAY
- 2 TRASH ENCLOSURE
- 3 PROPOSED BUILDING
- 4 EXISTING CMU WALL (MIN. 6' HEIGHT)
- 5 ROOF OVERHANG
- 6 SITE RETAINING WALLS
- 7 EXISTING SIDEWALK
- 8 EXISTING LANDSCAPE AND IRRIGATION ALONG NORTH AND WEST PROPERTY LINE TO REMAIN UNDISTURBED
- 9 PROPERTY LINE
- 10 FIRE HYDRANT
- 11 EXISTING DRAINAGE PIPES
- 12 STEPS
- 13 NEW DRAINAGE PIPE
- 14 UNDERGROUND STORY WATER STORAGE
- 15 EXISTING CONCRETE HEADWALL
- 16 4' WIDE DRAINAGE SWALE LINED W/ 4" DIA. ROCK PER CIVIL DUGS.



Preliminary  
Hardscape Plan  
Scale 1/16" = 1'-0"  
GRAPHIC SCALE  
NORTH

phillip r. ryan  
landscape architect p.c.  
landscape architecture & planning  
4916 s. quiet way  
gilbert, arizona 85298  
(480) 699-5813 fax (480) 963-3674

### DEER VALLEY & MILLER

21818 N. MILLER ROAD  
SCOTTSDALE, AZ 85255

REVISION SCHEDULE



PRELIMINARY

WHITNEYBELL PERRY INC  
1102 East Missouri Avenue  
Phoenix, Arizona 85014  
575 W Chandler Blvd, Suite 123  
Chandler, Arizona 85224  
(602) 285-1891



ARCHITECTURE AND PLANNING

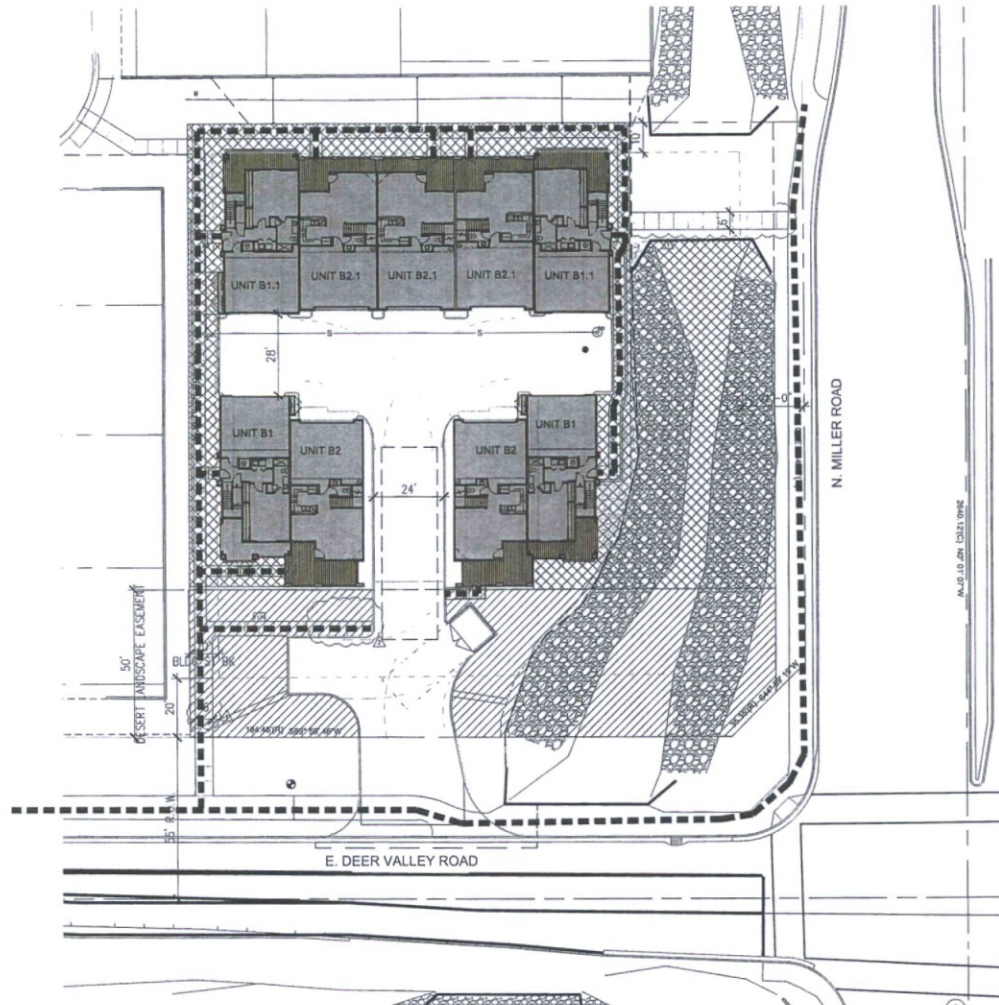
L-2

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PRELIMINARY  
HARDSCAPE PLAN

03-ZN-2017  
03/27/2019



OPEN SPACE PLAN

SCALE: 1" = 20' - 0"



## SITE DATA

### ZONING:

EXISTING: PLANNED CONVENIENCE CENTER (POC)  
PROPOSED: MEDIUM DENSITY RESIDENTIAL (R-3)

### SITE AREA:

NET 43,561 SF = 1.0 ACRES

### BUILDING AREA:

2 STORY BLDG = 25,312 SF

### SITE COVERAGE:

25,312 SF / 43,561 SF = 0.59 OR 59%

### BUILDING HEIGHT:

PROPOSED = 2 STORY, 29'-4" TO THE TOP OF RIDGE FOR MANARD ROOF

### OPEN SPACE CALCULATIONS

REQUIRED OPEN SPACES:	
REQUIRED MINIMUM OPEN AREA:	NET LOT AREA X 0.30 43,561 X 0.30 = 13,062 SF
REQUIRED FRONTAGE OPEN SPACE:	NET LOT AREA X 0.12 43,561 X 0.12 = 5,227 SF
PROVIDED FRONTAGE OPEN SPACE:	7,652 SF
REQUIRED COMMON OPEN SPACE:	MIN. OPEN SPACE - FRONTAGE OPEN SPACE 13,062 SF - 5,227 SF = 7,835 SF
PROVIDED COMMON OPEN SPACE:	10,569 SF

### PRIVATE OUTDOOR LIVING SPACE

REQUIRED = 10% OF EACH UNIT

NO. OF UNITS FOR EACH UNIT TYPE	UNIT TYPE	LIVABLE AREA	PRIVATE OUTDOOR LIVING SPACE FOR EACH UNIT	
			REQUIRED	PROVIDED
2	B1	1,700 SF	170 SF	GROUND LEVEL PATIO: 159 SF BALCONY: 108 SF TOTAL: 267 SF
2	B1.1	1,784 SF	178 SF	GROUND LEVEL PATIO: 160 SF BALCONY: 180 SF TOTAL: 340 SF
2	B2	1,740 SF	174 SF	GROUND LEVEL PATIO: 250 SF TOTAL: 250 SF
3	B2.1	1,844 SF	184 SF	GROUND LEVEL PATIO: 236 SF BALCONY: 78 SF TOTAL: 314 SF
TOTAL LIVABLE AREA:			16,000 SF	
REQUIRED PRIVATE OUTDOOR SPACE:			1,600 SF	
PROVIDED PRIVATE OUTDOOR SPACE:			2,832 SF	

### SITE LEGEND:

	BUILDING FOOTPRINT
	FRONTAGE OPEN SPACE
	OPEN SPACE OTHER THAN FRONTAGE
	PRIVATE OPEN SPACE
	PARKING/DRIVEWAY

## DEER VALLEY & MILLER

21818 N. MILLER ROAD  
SCOTTSDALE, AZ 85255

REVISION SCHEDULE



WHITNEYBELL PERRY INC  
1102 East Missouri Avenue  
Phoenix, Arizona 85014  
575 W Chandler Blvd, Suite 123  
Chandler, Arizona 85224  
(602) 265-1891



ARCHITECTURE AND PLANNING

# A1.02

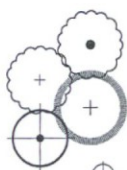
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OPEN SPACE  
SITE PLAN

03-ZN-2017  
03/27/2019



# PLANT SCHEDULE:

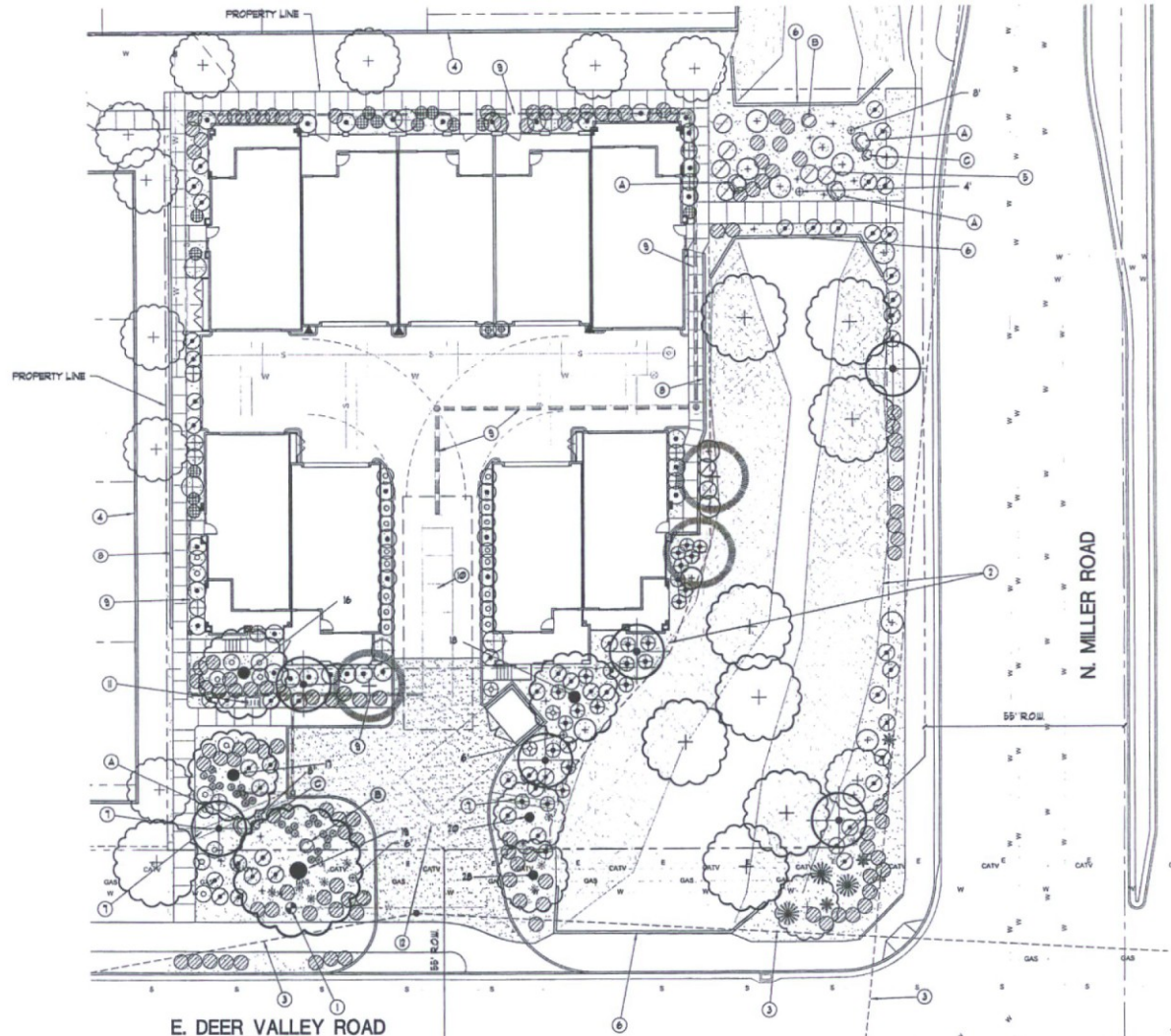
EXISTING TREE	SALVAGED FROM ON SITE	6 TOTAL
EXISTING TREE	TO REMAIN SEE PLAN FOR TYPE	20 TOTAL
CERCIUM FLORIDUM	36" BOX	3 TOTAL
BLUE PALM VERDE	MULTI-TRUNK	
PHYCATELOBIUM FLENGAULE	24" BOX	6 TOTAL
TEXAS EBONY		
CASALPINA GILLIESII	5 GALLON	6 TOTAL
YELLOW BIRD OF PARADISE	TREE FORM	
CARNESIANA GIGANTEA	5 GALLON	3 TOTAL
SAGUARO	SPEAR HT. PER PLAN	
CASALPINA FULCHERRIMA	5 GALLON	3 TOTAL
RED BIRD OF PARADISE	FULL PAST CAN	
RUELLIA PENINSULARIS	5 GALLON	25 TOTAL
SONORAN RUELLIA	FULL PAST CAN	
LEUCOPHYLLUM LANZMANIAE	5 GALLON	33 TOTAL
RIO BRAVO BAGE	FULL PAST CAN	
LEUCOPHYLLUM SPECIES	5 GALLON	50 TOTAL
CHIHUAHUA BAGE	FULL PAST CAN	
SALVIA GREII	5 GALLON	14 TOTAL
AUTUMN BAGE	FULL PAST CAN	
TECOPA X SPARKLETTE	5 GALLON	3 TOTAL
HYBRID JUBILEE	FULL PAST CAN	
OPUNTIA PHAEOCANTHA	5 GALLON	2 TOTAL
PRICKLEY PEAR	FULL PAST CAN	
ENCCELIA KARINOSA	5 GALLON	3 TOTAL
BRITTLE BUSH	FULL PAST CAN	
LARREA TRIDENTATA	5 GALLON	14 TOTAL
GREBOITE	FULL PAST CAN	
DASYLIRION WHEELERI	5 GALLON	3 TOTAL
DESERT SPOON	FULL PAST CAN	
HEPHERALOE PARVIFOLIA	5 GALLON	10 TOTAL
RED YUCCA	FULL PAST CAN	
CHRYSACTINA MEXICANA	1 GALLON	25 TOTAL
DOYANITA DAISY	FULL PAST CAN	
AMEROSIA DELTOIDEA	5 GALLON	24 TOTAL
TRIANGLE LEAF BURSAGE	FULL PAST CAN	
CAJALINDRA BRAPHYLLA	5 GALLON	3 TOTAL
PARRY DUSTER	FULL PAST CAN	
DOODONEA VISCOSA 'GREEN'	5 GALLON	2 TOTAL
GREEN HORSESHOE BUSH	FULL PAST CAN	
LANTANA MONTIVIDENTIS 'T.P.'	1 GALLON	10 TOTAL
TRAILING PURPLE LANTANA	FULL PAST CAN	
ROSA BANKSIAE 'ALBA PLENA'	5 GALLON	3 TOTAL
WHITE LADYBANK ROSE	STAKED	
DISCOMPOSED GRANITE	3/4" MINUS 'MADISON GOLD'	10,500 SF.
NATIVE VEGETATION TO REMAIN		
EXISTING RIVER RUN STONE TO REMAIN	5'-8" ANGULAR STONE	

## BOULDER SCHEDULE:

- (A) 4'x4'x2' DEEP SELECT GRADE GRANITE SURFACE BOULDER (BURY 12')
- (B) 3'x3'x3' DEEP SELECT GRADE GRANITE SURFACE BOULDER (BURY 12')
- (C) 2'x2'x2' DEEP SELECT GRADE GRANITE SURFACE BOULDER (BURY 6')

## PLAN KEY NOTES: (FOR THIS SHEET ONLY)

- (1) RELOCATED FIRE HYDRANT
- (2) FLOOD CONTROL EASEMENT
- (3) SIGHT DISTANCE LINE
- (4) EXISTING 6" BLOCK WALL TO REMAIN
- (5) EXISTING DRAINAGE PIPES
- (6) EXISTING CONCRETE HEADWALL
- (7) 4' WIDE DRAINAGE SHALE LINED W/ 4" DIA. ROCK PER CIVIL DUGS
- (8) RETAINING WALL PER CIVIL DUGS
- (9) DRAINAGE PIPE PER CIVIL DUGS
- (10) UNDERGROUND STORAGE PIPE PER CIVIL DUGS
- (11) BIKE LOOPS
- (12) INTEGRAL COLOR CONCRETE PAVEMENT



Preliminary  
Landscape Plan  
Scale 1/16" = 1'-0"  
GRAPHIC SCALE  
NORTH

phillip r. ryan  
landscape architect p.c.  
landscape architecture & planning  
4916 s. quiet way  
gilbert, arizona 85296  
(480) 899-5813 fax (480) 963-3674

DEER VALLEY  
&  
MILLER

21818 N. MILLER ROAD  
SCOTTSDALE, AZ 85255

REVISION SCHEDULE



PRELIMINARY

WHITNEYBELL PERRY INC  
1102 East Missouri Avenue  
Phoenix, Arizona 85014  
575 W Chandler Blvd, Suite 123  
Chandler, Arizona 85224  
(602) 265-1891



ARCHITECTURE AND PLANNING

L-1

1749

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PRELIMINARY  
LANDSCAPE PLAN

03-ZN-2017  
03/27/2019

# **Deer Valley & Miller**

**21818 N Miller Road, Scottsdale, AZ 85255**

**February 8, 2019**

## ***Project Narrative:***

The subject property is located at the northwest corner N. Miller Road and E. Deer Valley Road and encompasses 1.6 gross acres and 1.0 net acres of land. The site is currently zoned as Planned Convenience Center (PCoC). The parcels adjacent to the property include single family houses to the north and west, North Miller Road to the east, and East Deer Valley Road to the south. It is requested that the proposed project be rezoned to Medium Density Residential (R-3) as Town Homes. This proposal is submitted for rezoning the site from PCoC to R-3.

The proposed development is three separate buildings with the north building consisting of 5 units, with the two south building each consisting of 2 units each. There are total 9 units in the proposed development.

The Site is developed with sensitivity to existing topography. Site planning is done keeping the natural terrain of the site and placing the buildings strategically and minimizing the disturbance.

The development is proposed for townhomes with a density of nine units per acre. Located at the corner of a minor arterial street and a minor collector street the site has access to many modes of transportation. The surrounding areas has been developed for well over 20 years, and there are no sensitive environmental conditions on or near the site.

There will be pedestrian connection from the street to each building as shown on Pedestrian and Vehicular Circulation Plan. The buildings are set back fifty feet from Deer Valley Road and created an open area in the front. These fifty feet is the Desert Landscape easement. Entry to the site is from the Deer Valley road, through this Desert Landscape easement, pavement in this area will be of colored concrete

## **Deer Valley & Miller**

**21818 N Miller Road, Scottsdale, AZ 85255**

**February 8, 2019**

to blend with the surrounding desert color. The refuse enclosure which is in this area, will have mesh trellis on the enclosure wall with vines growing on the trellis. See sheet A1.01 for two options for the trellis. The CMU wall will be also integral color block to match the building and surrounding desert color. The refuse enclosure is located at this location, so it is away from the single family residences. This location was determined after discussing with the City, see attached email and drawing with comments.

The is drainage easement on the east side is to remain and retaining wall is added for the sloped terrain. Site wall between the single family houses and the proposed development is existing.

The proposed development will have sidewalk connection to the existing Arizona Silverado subdivision on the northwest side. This connection will create, preserve and enhance pedestrian and bicycle connections and link between the neighborhood.

The perimeter of the site will be lined with landscaping. Landscaping is approached from an inviting environment perspective and will be integrated with the adjacent neighborhood landscape.

The front yard will have native vegetation to reduce water consumption and provide desert wildlife habitat.

The proposed development is a permitted Land Use per Table 5.703, no. 5. Dwelling units, and will have a density of 9 unites per acre. Common open space provided in the proposed site is 14,730 sq.ft. The proposed site has a drainage channel on the east and the fifty feet wide Desert landscape easement on the south giving open space to the site. Two parking space is required for each Townhomes. Private garage

# **Deer Valley & Miller**

**21818 N Miller Road, Scottsdale, AZ 85255**

**February 8, 2019**

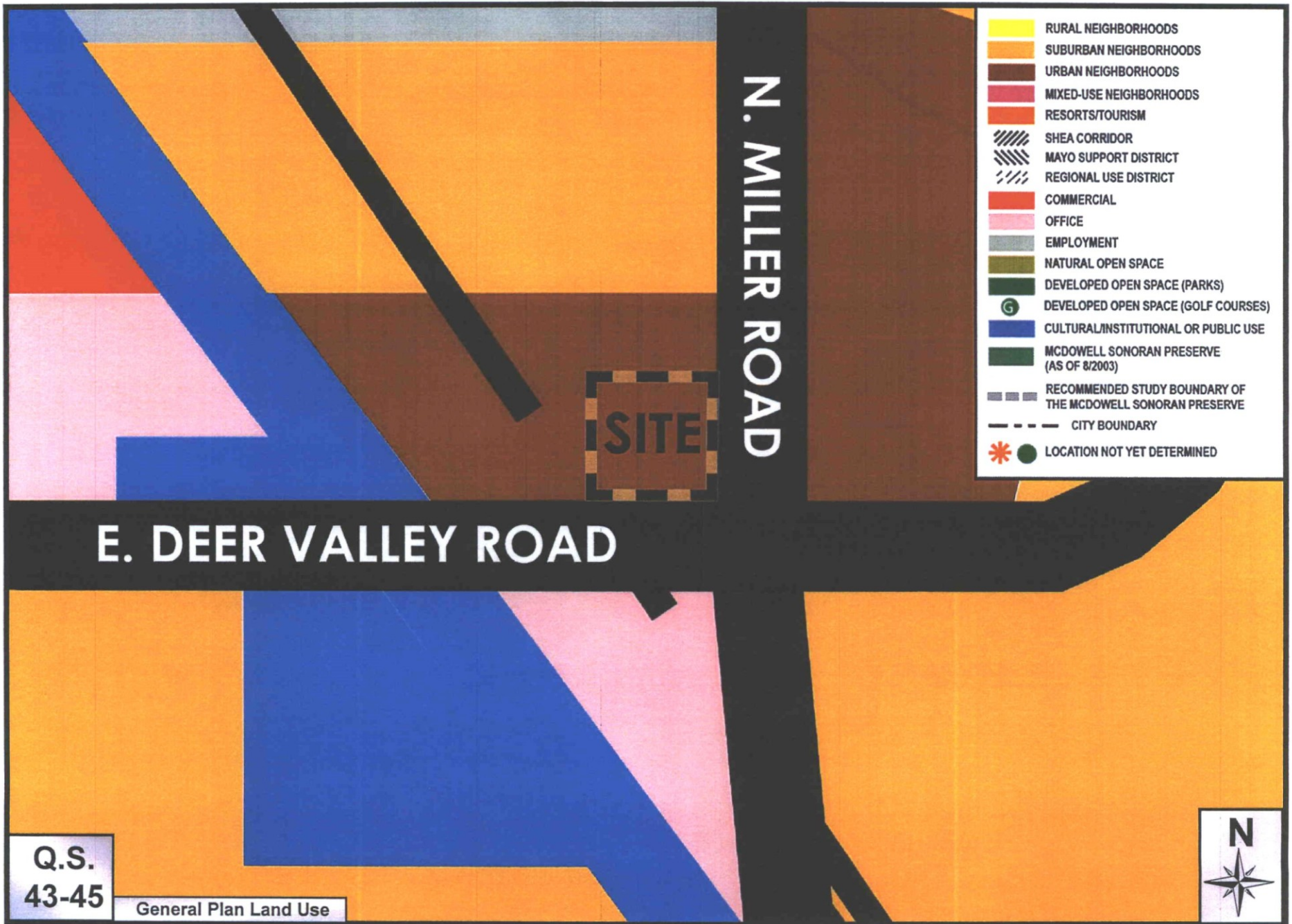
with two parking space for each unit, which is a total of eighteen space, is provided in the proposed project. There is one open parking space in the front, which is for accessible and guest parking. The open parking area will have colored concrete pavement so it blends with the surrounding in the desert easement area.

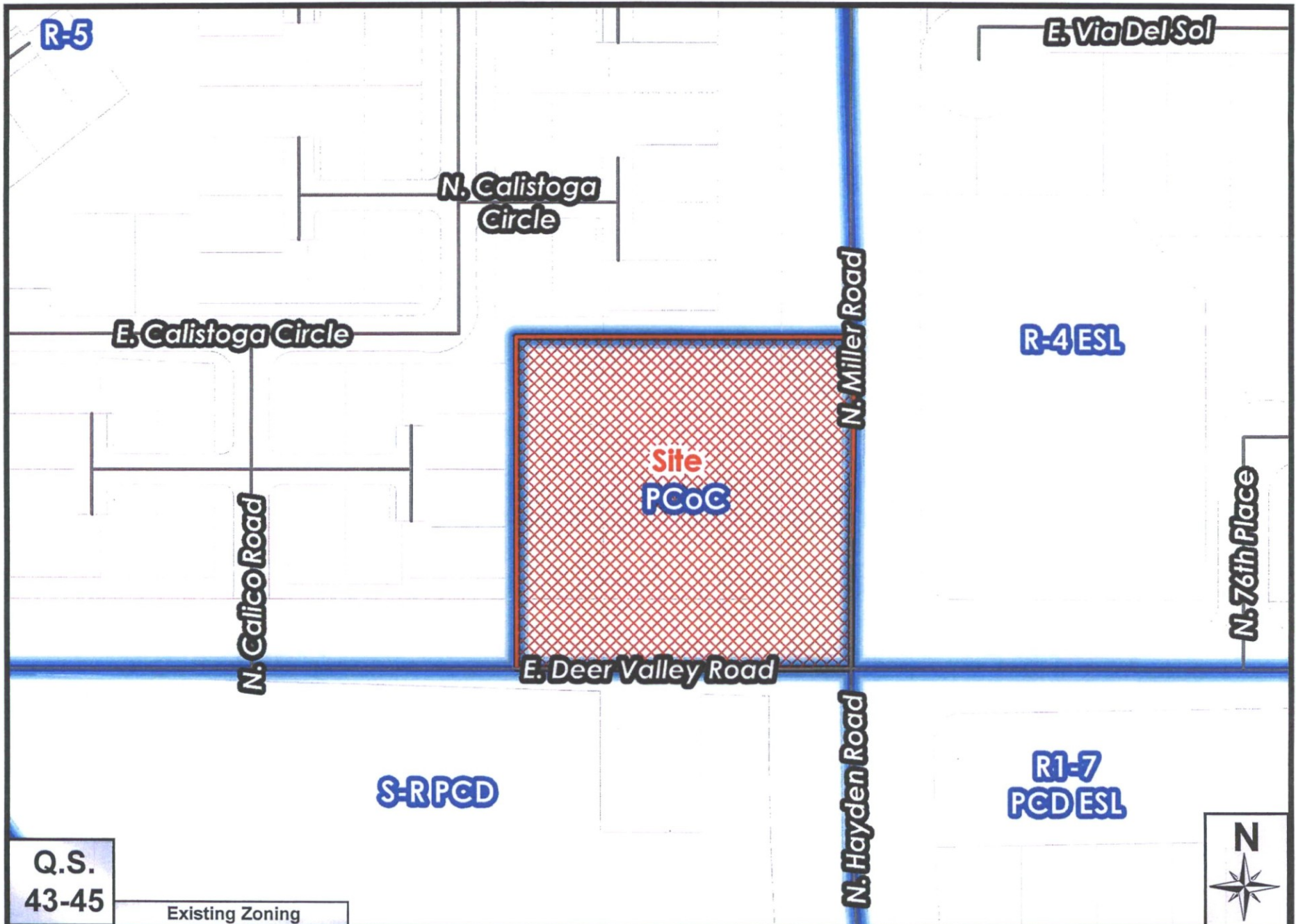
Materials, finishes and colors for the buildings have been selected to evoke a sense of welcoming and well-being. The building footprint allows landscaped areas adjacent to the building. The building design has light colored stucco with accents of darker wood tones and adobe blend mission style roofing.

The building on the north side is approximately 12,730 square feet and two stories with 5 residences. The two buildings on the south side have an approximate area of 4,686 square feet each, two stories and 2 residences in each of them. The buildings have three bedrooms with kitchen, living and powder room with two car garages. See Unit plans for different plan layout.

The exterior elevations show various elements in the building to create visual interest and richness. Stone veneer, pop outs, window shutters add variety to the elevations. Included in the palette of materials are:

- Stucco system (inclusive of pop-outs) with muted earth tone paint color options
- Detail accents, posts and railings
- Accent stone
- Concrete roof tiles

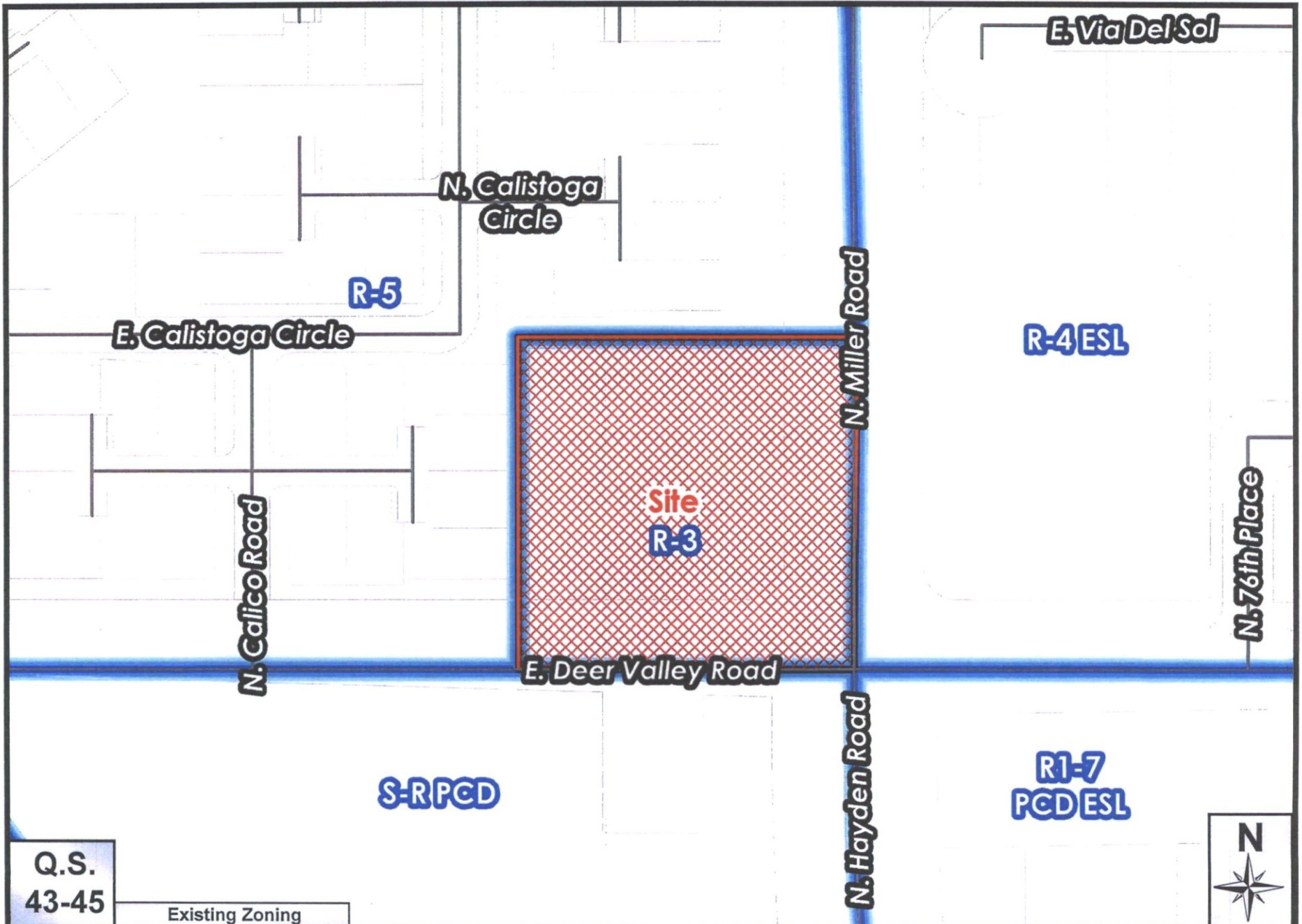




Deer Valley Townhomes

ATTACHMENT #5

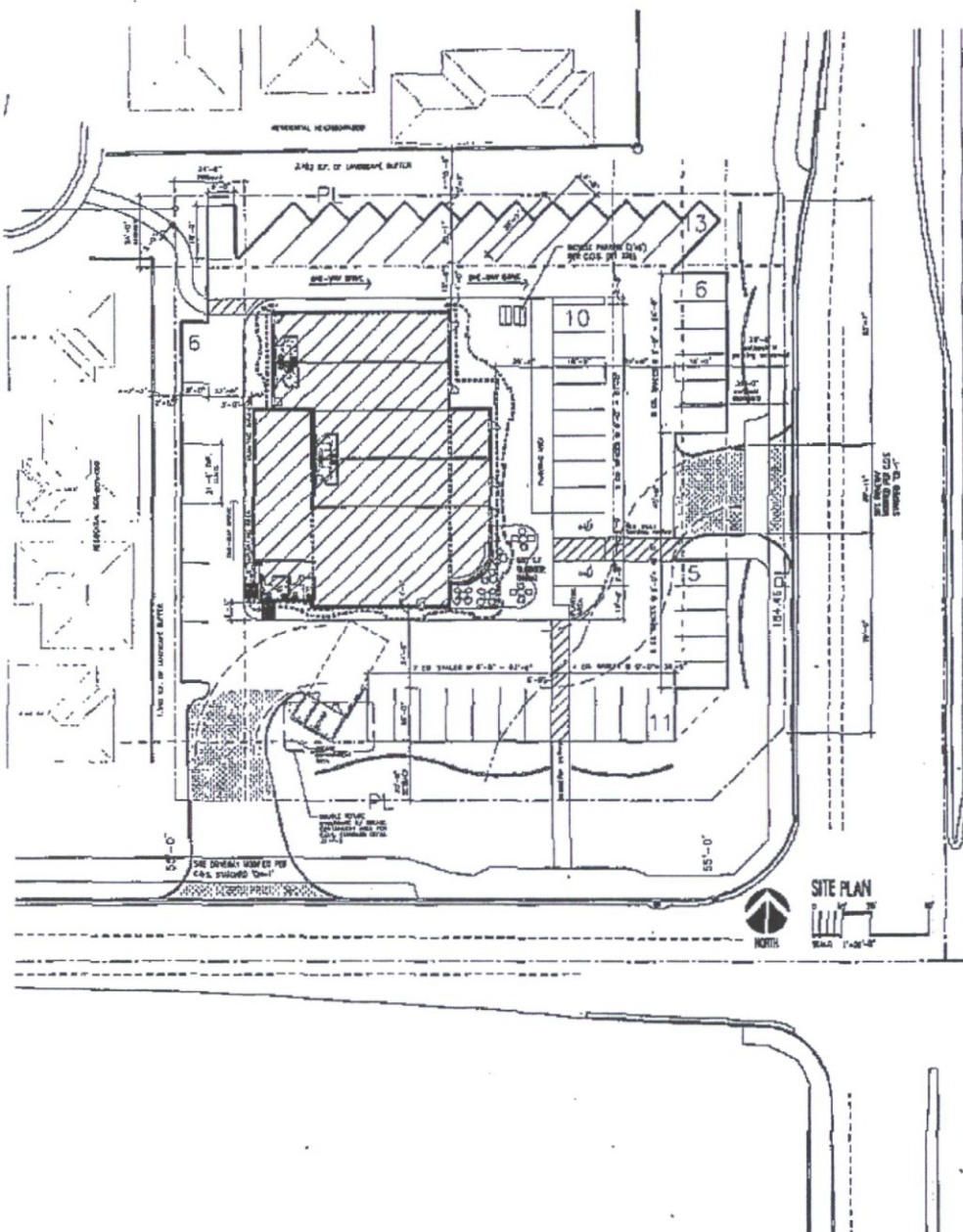
3-ZN-2017



Deer Valley Townhomes

ATTACHMENT #6

3-ZN-2017



# **PROJECT INFO**

OWNER INFO: Beardsley 22  
602-943-7775

PROPERTY ADDRESS: 21818 N. MILLER ROAD  
SCOTTSDALE, ARIZONA

CURRENT ZONING: P.C-D.C  
PARCEL #: 212-02-010E  
QUARTER SECTION: 43-45  
BUILDING HEIGHT: 23' TO TOP OF BUILDING  
BUILDING HEIGHT ALLOWED: 28'-0"

## **GROSS / NET LOT ACREAGE**

GROSS LOT SIZE: 69,959 SF./1.61 AC.  
NET LOT SIZE: 43,423 SF./.99 AC.  
FAR = LOT S.F. X 0.2 = 8,684 S.F.

**VOLUME RATIO**  
ALLOWED =  $43,423 \times 3 = 130,269$  S.F.  
PROPOSED COMMERCIAL = 106,640 S.F.

4,000 S.F. RETAIL  
2,630 S.F. GROCERY  
1,000 S.F. RESTAURANT  
7,630 S.F. TOTAL FLOOR

## **REQUIRED PARKING**

2,630 GROCERY = 1 PER 250 OR 11 SPACES  
1,000 RESTAURANT = 1 PER 80 OR 13 SPACES  
(4) 1,000 RETAIL SPACES OR 4,000 S.F. = 1 PER 300 OR 14 SPACES  
600 S.F. OF OUTDOOR SPACE = 3 PARKING SPACE OR 1 PER 200 S.F.

TOTAL REQUIRED = 41 SPACES  
ADA IS 4% OF REQ. PARKING OR 2 SPACES OF WHICH 1 IS VAN ACCESSIBLE.  
4 BICYCLE PARKING REQUIRED PER SECTION 9.103

## **SUPPLIED PARKING**

51 TOTAL  
4 BICYCLE PARKING PROVIDED

## **OPEN SPACE REQUIREMENT**

NET LOT SIZE: 43,423 SF./.99 AC.  
OPEN SPACE REQUIREMENT =  $43,423 \times 0.24 = 10,421$  S.F.  
OPEN SPACE REQUIREMENT =  $43,423 \times 0.004(16) = 2,779$  S.F.  
OPEN SPACE REQUIREMENT = 13,200 S.F.  
OPEN SPACE PROVIDED = 13,645 S.F.

## **PARKING LOT LANDSCAPE REQUIREMENTS**

PARKING LOT (PAVING) AREA: 18,931 S.F.  
LANDSCAPE REQUIREMENT =  $21,462 \times 0.15 = 2,840$  S.F.

## **TOTAL LANDSCAPE REQUIREMENTS**

OPEN SPACE REQUIRED + PARKING LANDSCAPE REQUIRED =  
 $13,200 + 2,840 = 16,040$  S.F.

## **TOTAL LANDSCAPE PROVIDED**

OPEN SPACE PROVIDED = 13,645 S.F.  
PARKING LANDSCAPE PROVIDED = 3,467 S.F.

Revision

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1179 N. 1st St.  
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Phoenix, AZ 85004  
Phone: 602.254.1179  
Fax: 602.254.1179  
www.sebinstudio.com

Beardsley 22, Inc.  
21818 N. Miller Rd  
Scottsdale, Arizona 85255

- ☐ SCHEMATIC DESIGN
- ☒ DESIGN DEVELOPMENT
- ☐ CONSTRUCTION DOCUMENTS
- ☐ CONSTRUCTION ISSUE
- ☐ RECORD DRAWINGS

Project No. 2005-024

CDS Project No. 12-DR-2007

Plan Check No.

Design Review No.

Checked by

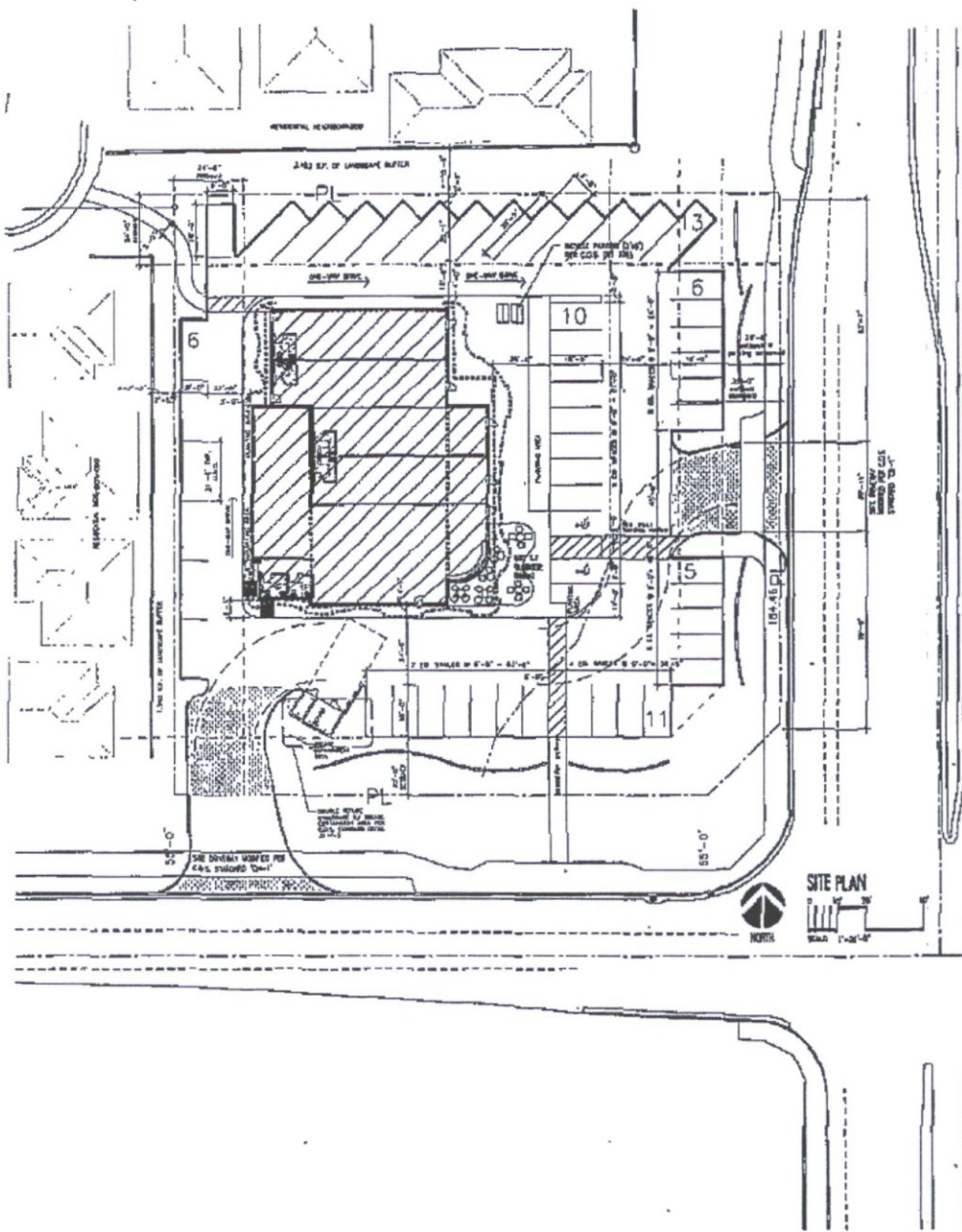
Drawn by SEBIN

Date 3/13/08

Title

A102

Sheet No.



# PROJECT INFO

## OWNER INFO:

Beardsley 22  
602-943-7775

## PROPERTY ADDRESS:

21818 N. MILLER ROAD  
SCOTTSDALE, ARIZONA

## CURRENT ZONING:

P.C-D.C

## PARCEL #:

212-02-010E

## QUARTER SECTION:

43-45

## BUILDING HEIGHT:

23' TO TOP OF BUILDING

## BUILDING HEIGHT ALLOWED:

28'-0"

## GROSS / NET LOT ACREAGE

GROSS LOT SIZE: 69,959 SF./1.61 AC.

NET LOT SIZE: 43,423 SF./.99 AC.

FAR = LOT S.F. X 0.2 = 8,684 S.F.

## VOLUME RATIO

ALLOWED = 43,423 X 3 = 130,269 S.F.

PROPOSED COMMERCIAL = 106,640 S.F.

4,000 S.F. RETAIL

2,630 S.F. GROCERY

1,000 S.F. RESTAURANT

7,630 S.F. TOTAL FLOOR

## REQUIRED PARKING

2,630 GROCERY = 1 PER 250 OR 11 SPACES

1,000 RESTAURANT = 1 PER 80 OR 13 SPACES

(4) 1,000 RETAIL SPACES OR 4,000 S.F. = 1 PER 300 OR 14 SPACES

600 S.F. OF OUTDOOR SPACE = 3 PARKING SPACE OR 1 PER 200 S.F.

TOTAL REQUIRED = 41 SPACES

ADA IS 4% OF REQ. PARKING OR 2 SPACES OF WHICH 1 IS VAN ACCESSIBLE.

4 BICYCLE PARKING REQUIRED PER SECTION 9.103

## SUPPLIED PARKING

51 TOTAL

4 BICYCLE PARKING PROVIDED

## OPEN SPACE REQUIREMENT

NET LOT SIZE: 43,423 SF./.99 AC.

OPEN SPACE REQUIREMENT = 43,423 X 0.24 = 10,421 S.F.

OPEN SPACE REQUIREMENT = 43,423 X 0.004(16) = 2,779 S.F.

OPEN SPACE REQUIREMENT = 13,200 S.F.

OPEN SPACE PROVIDED = 13,645 S.F.

## PARKING LOT LANDSCAPE REQUIREMENTS

PARKING LOT (PAVING) AREA: 18,931 S.F.

LANDSCAPE REQUIREMENT = 21,462 X 0.15 = 2,840 S.F.

## TOTAL LANDSCAPE REQUIREMENTS

OPEN SPACE REQUIRED + PARKING LANDSCAPE REQUIRED =

13,200 + 2,840 = 16,040 S.F.

## TOTAL LANDSCAPE PROVIDED

OPEN SPACE PROVIDED = 13,645 S.F.

PARKING LANDSCAPE PROVIDED = 3,467 S.F.

Revision

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Beardsley 22, Inc.  
21818 N. Miller Rd  
Scottsdale, Arizona 85255

- ☐ SCHEMATIC DESIGN
- ☒ DESIGN DEVELOPMENT
- ☐ CONSTRUCTION DOCUMENTS
- ☐ CONSTRUCTION ISSUE
- ☐ RECORD DRAWINGS

Project No. 2005\_024

CDS Project No. 12-DR-2007

Plan Check No.

Design Review No.

Checked By

Drawn By SEBIN

Date 3/13/08

Title

A102

Sheet No.

Conceptual Site Plan for:

# Miller & Deer Valley Roads

Scottsdale, Arizona

Illustrative Site Plan:

## SITE PLAN WORKSHEET:

GROSS LOT AREA:  
NET LOT AREA:  
FLOOR AREA:

CANV. SHORE: 2000 SQ. FT.  
CANOPY: 1426 SQ. FT.

OPEN SPACE/LANDSCAPE AREA:

INTERIOR OPEN SPACE/RETENTION/LANDSCAPE:	15,880 SQ. FT. TOTAL
R.O.W. OPEN SPACE/RETENTION/LANDSCAPE:	4,040 SQ. FT.

X  
City of Scottsdale  
Well Site

Existing  
Block Wall

Prepared by:

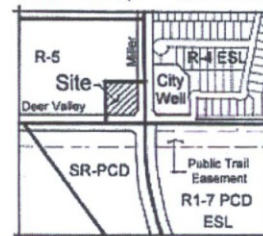


**G. WILLIAM LARSON ASSOCIATES**

ZONING, SITE AND ENVIRONMENTAL PLANNING

9472 East Conquistadores Drive. Scottsdale, AZ 85256  
Office/Fax (602) 515-1455 Mobile (602) 377-3577

Context Map: North 1"=400'



Note: All Calculations are Approximate.

34-UP-98  
9/1/98

Scale: 1"= 20'-0"



Date: January 6, 1998



SCALE 1" = 40' - 0"



## PLANT SCHEDULE:

EXISTING TREE	SALVAGED FROM ON SITE	6 TOTAL
EXISTING TREE	TO REMAIN	20 TOTAL
EXISTING TREE	SEE PLAN FOR TYPE	
CERIDUUM FLORIDUM	36" BOX	3 TOTAL
BLUE PALM VERDE	MULTI-TRUNK	
RYTHOCELLOBIUM FLUXICALLA	24" BOX	6 TOTAL
TEXAS BONY		
CASALPINA GILLIESII	5 GALLON	6 TOTAL
YELLOW BIRD OF PARADISE	TREE FORM	
CARNIVOROUS GIGANTEA	8' PEAK	9 TOTAL
SAGUARO	HT. PER PLAN	
CASALPINA FULCHERRIMA	5 GALLON	3 TOTAL
RED BIRD OF PARADISE	FULL PAST CAN	
RUELLIA PINNULARIS	5 GALLON	75 TOTAL
SONORAN RUELLIA	FULL PAST CAN	
LEUCOPHYLLUM LANGSHANIAN	5 GALLON	33 TOTAL
RIO BRAVO BAGE	FULL PAST CAN	
LEUCOPHYLLUM SPECIOS	5 GALLON	50 TOTAL
CHINAMAN BAGE	FULL PAST CAN	
SALVIA GREGGII	5 GALLON	14 TOTAL
AUTUMN BAGE	FULL PAST CAN	
TECOPA X SPARKLETTIE	5 GALLON	9 TOTAL
HYBRID JUBILEE	FULL PAST CAN	
ORPENTIA PHAEACANTHA	5 GALLON	12 TOTAL
FRIGGLEY PEAR	FULL PAST CAN	
ENGELIA KARINOSA	5 GALLON	8 TOTAL
BRITTLE BUSH	FULL PAST CAN	
LARREA TRIDENTATA	5 GALLON	14 TOTAL
CREOSOTE	FULL PAST CAN	
CASUYURION WHISPER	5 GALLON	3 TOTAL
DESERT SPOON	FULL PAST CAN	
HESPERALOE PARVIFOLIA	5 GALLON	10 TOTAL
RED YUCCA	FULL PAST CAN	
CHRYSAECTIA MEXICANA	1 GALLON	25 TOTAL
DOYANITA DAISY	FULL PAST CAN	
AMBROSIA DELTOIDEA	5 GALLON	24 TOTAL
TRIANGLE LEAF BURBAGE	FULL PAST CAN	
CALANDREA BRIPHALLA	5 GALLON	3 TOTAL
FAIRY DUSTER	FULL PAST CAN	
DODONAEA VISCOSA "GREEN"	5 GALLON	2 TOTAL
GREEN HORSESHOE BUSH	FULL PAST CAN	
LANTANA MONTIVIDENSIS "TP."	1 GALLON	10 TOTAL
TRAILING PURPLE LANTANA	FULL PAST CAN	
ROSA BANKSIAE "ALBA PLUMA"	5 GALLON	3 TOTAL
WHITE LADY BANGS ROSE	STAKED	
DISCOMPOSED GRANITE		10,500 LB.
3/4" PINK "MADISON GOLD"		
NATIVE VEGETATION TO REMAIN		
EXISTING RIVER RUN STONE TO REMAIN		
5'-8" ANGULAR STONE		

## BOULDER SCHEDULE:

- (A) 4"x10" DEEP SELECT GRADE GRANITE SURFACE BOULDER (BURY 5")  
 (B) 3"x10" DEEP SELECT GRADE GRANITE SURFACE BOULDER (BURY 5")  
 (C) 2"x10" DEEP SELECT GRADE GRANITE SURFACE BOULDER (BURY 6")

## PLAN KEY NOTES: (FOR THIS SHEET ONLY)

- ① RELOCATED FIRE HYDRANT  
 ② FLOOD CONTROL EASEMENT  
 ③ SIGHT DISTANCE LINE  
 ④ EXISTING 6" BLOCK WALL TO REMAIN  
 ⑤ EXISTING DRAINAGE PIPES  
 ⑥ EXISTING CONCRETE HEADWALL  
 ⑦ 4" WIDE DRAINAGE BUALE LINED W/ 4" DIA. ROCK PER CIVIL DUGS.  
 ⑧ RETAINING WALL PER CIVIL DUGS.  
 ⑨ DRAINAGE PIPE PER CIVIL DUGS.  
 ⑩ UNDERGROUND STORAGE PIPE PER CIVIL DUGS.  
 ⑪ BIKE LOOPS  
 ⑫ INTEGRAL COLOR CONCRETE PAVEMENT



Preliminary  
Landscape Plan  
Scale 1/16" = 1'-0"  
GRAPHIC SCALE



phillip r. ryan  
landscape architect p.c.  
landscape architecture & planning  
4016 s. quiet way  
glendale, arizona 85225  
(480) 959-5015 fax: (480) 953-3074

# DEER VALLEY & MILLER

21818 N. MILLER ROAD  
SCOTTSDALE, AZ 85255

REVISION SCHEDULE



## PRELIMINARY

## WHITNEYBELL PERRY INC

1102 East Missouri Avenue  
Phoenix, Arizona 85014  
575 W Chandler Blvd, Suite 123  
Chandler, Arizona 85224  
(602) 265-1891



## ARCHITECTURE AND PLANNING

L-1

1749

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PRELIMINARY  
LANDSCAPE PLAN

03-ZN-2017  
03/27/2019

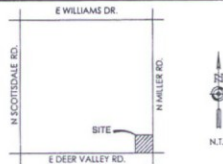
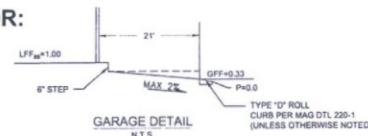
Flow  
Q = CDA\*\*  
C = Average Runoff Coefficient\*  
D = Precipitation Intensity (2.00 in./hr, 5-min) (in/hr)  
A = Net Area of Disturbed Area (ac)

First Flush Volume  
V = CDA\*\*  
C = Average Runoff Coefficient\*  
D = First Flush Precipitation Depth (3.75 in.)  
A = Net Area of Disturbed Area (ac)

\*Values are from FDOT Hydraulic Manual  
\*\*First Flush equation is from FDOT Design Manual

# PRELIMINARY GRADING AND DRAINAGE PLAN FOR: **DEER VALLEY TOWNHOMES** N MILLER ROAD & E DEER VALLEY ROAD SCOTTSDALE, ARIZONA

A PORTION OF THE SOUTHWEST QUARTER OF SECTION 14, TOWNSHIP 4 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.



## OWNER / DEVELOPER

BEARDSLEY 22, INC.  
222 W LINDER LN, PHOENIX, AZ 85021  
PHONE: (480) 969-4330  
CONTACT: SCOTT WARD  
EMAIL: WARD@DEVELOPMENT@YAHOO.COM

## ARCHITECT

WHITNEYBELL PERRY, INC.  
575 W CHANDLER BLVD, SUITE 123  
CHANDLER, ARIZONA 85224  
CONTACT: TERESA HILL  
PHONE: (480) 857-8364  
EMAIL: TERESA@WHITNEYBELLPERY.COM

## CIVIL ENGINEER

TERRASCAPE CONSULTING  
1102 EAST MISSOURI AVENUE  
PHOENIX, ARIZONA 85014  
CONTACT: LISA NELSON, P.E.  
PHONE: (480) 454-1807  
FAX: (480) 230-2458  
EMAIL: LNELSON@TERRASCAPE.US

## PROJECT DATA:

APR: 212-02-010E  
NET AREA: 0.86 ACRES  
TOTAL DISTURBED AREA: 0.86 ACRES  
PARCEL AREA: 1.00 ACRES  
ADDRESS: 21818 N MILLER RD, SCOTTSDALE, AZ 85255

## BASIS OF BEARING

THE SOUTH LINE OF SECTION 14, TOWNSHIP 4 NORTH, RANGE 4 EAST, SAID LINE HAVING AN ASSUMED BEARING OF N 89° 32' 00" E.

## BENCHMARK

A CITY OF SCOTTSDALE BRASS CAP IN HANDHOLE AT THE INTERSECTION OF SCOTTSDALE ROAD AND DEER VALLEY ROAD, C.O.S ELEVATION = 1747.03 (NAVD 83).

## FEMA FLOOD INFORMATION

FLOOD ZONE DESIGNATION: "X" F.E.M.A. FLOOD INSURANCE RATE MAP, MAP NUMBER 0403C1302L, PANEL 1320, OF 4425, DATED AUGUST 25, 2017. ZONE "X" AREAS DETERMINED TO BE OUTSIDE OF 0.2% ANNUAL CHANCE FLOODPLAIN.

## LEGEND

BOUNDARY	FIVE HYDRANT
EX PROPERTY LINE	CLEAN OUT WITH COLLAR
SETBACK	CLEAN OUT
EASEMENT	VALVE
STORM DRAIN	4" MANHOLE
SANITARY SEWER LINE	CATCH BASIN
DOMESTIC WATERLINE	YARD DRAIN
FW FIRELINE	BACKFLOW PREVENTER
DRYWELL	WATER METER
STORMTECH RETENTION TANK	FINISHED GRADE
GRADE BREAK LINE	HEC-RAS CROSS SECTIONS
EROSION SETBACK	WATER SURFACE ELEVATION
	COLORADO PORTLAND CEMENT CONCRETE

## ABBREVIATIONS

BLDG	BUILDING	LS	LANDSCAPE
C	CONCRETE	MH	MANHOLE
C&G	CURB AND GUTTER	P	PAVEMENT
CD	CLEAN OUT	PROP	PROPOSED
CMP	CORRUGATED METAL PIPE	PUE	PUBLIC UTILITY EASEMENT
DIA	DIAMETER	RW	RIGHT OF WAY
ELEV	ELEVATION	SB	SETBACK
ESMT	EASEMENT	SS	SANITARY SEWER
EX	EXISTING	SW	SEWAGE
LFF	FINISHED FLOOR ELEVATION	TC	TOP OF CURB
PGFW	FINISHED GRADE AT FOOT OF WALL	TYP	TYPICAL
FL	FLOWLINE	TW	TOP OF WALL
G	GUTTER	V	VOLUME PROVIDED
GR	GRATE	V <sub>R</sub>	VOLUME REQUIRED
HP	HIGH POINT	WSE	WATER SURFACE ELEVATION
INV	INVERT		

## PAVING, GRADING AND DRAINAGE NOTES

1. GRADE TO DRAIN
2. GRADE 4" WIDE DRAINAGE SWALE TO DRAIN LINE WITH 4" DIA. LANDSCAPE ROCK
3. 2" WIDE CURB OPENING
4. RETAINING WALL WITH SAFETY RAIL. WALL HEIGHT VARIES, PER PLAN. WALL FOOTING SHALL EXTEND BELOW TOP OF BANK TURN DOWN FOR RIP RAP, WHERE APPLICABLE ALONG EX. CHANNEL.
5. EXPOSED STEM WALL. REFER TO ARCHITECTURAL PLANS.
6. MIN. 2" SAWCUT AND REMOVE EX. A.C.P. ROADWAY. PROTECT EXISTING ASPHALT CONCRETE TO REMAIN.
7. INSTALL M-2 DRIVEWAY PER C.O.S. STD. DTL. 2295, SIDEWALK MODIFIED PER PLAN.
8. WIDEN A.C.P. ROADWAY TO LIMITS SHOWN
9. OBLITERATE PAVEMENT MARKINGS
10. MATCH EXISTING
11. 7" DEEP RIP RAP DSG 6" TO BE INSTALLED AGAINST RETAINING, MATCH EXISTING
12. SAWCUT, REMOVE, AND DISPOSE OF CONCRETE TO LIMITS SHOWN OR NEAREST EXPANSION JOINT. EXACT LIMITS TO BE DETERMINED IN THE FIELD. PROTECT EXISTING ASPHALT CONCRETE TO REMAIN.
13. INSTALL MC3000 (45" ARCH PIPE) STORMTECH RETENTION SYSTEM. SEE DETAIL SHEET 2. LENGTH PER PLAN.
14. LOCALIZED INLET OVERFLOW POINT. OVERFLOW ELEV. PER PLAN.



consulting  
**Terrascap**  
civil engineering • surveying • urban planning  
1102 East Missouri Ave., Phoenix, Arizona 85014 • 872 West Chandler Blvd., #123, Chandler, Arizona 85224  
P: 480.377.8322 • info@terrascapconsulting.com • terrascapconsulting.com



DEER VALLEY TOWNHOMES

PRELIMINARY GRADING & DRAINAGE



DATE	DESCRIPTION
08/27/18	CITY SUBMITTAL
03/09/19	CITY SUBMITTAL
03/25/19	CITY SUBMITTAL

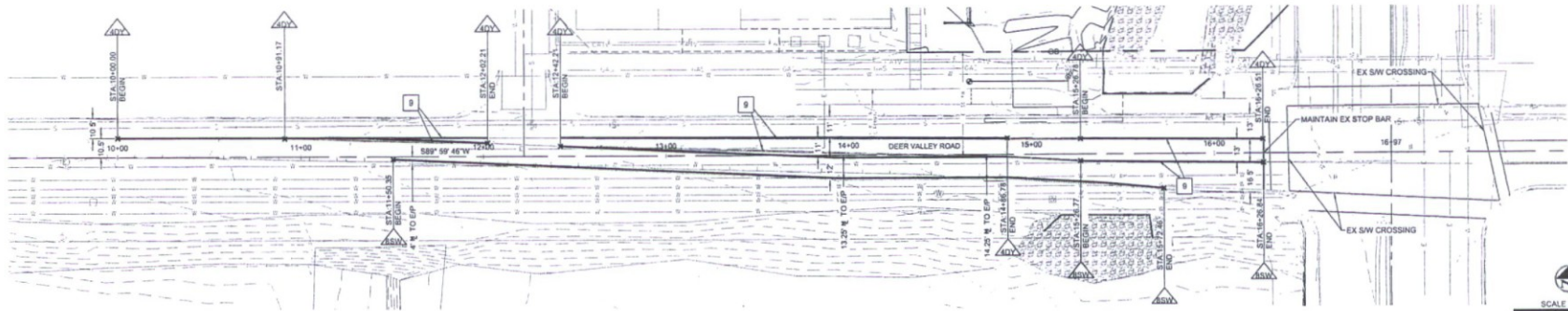
CHECKED BY: LNM  
DRAWN BY: CMA  
TITLE: PRELIMINARY GRADING & DRAINAGE PLAN

SHEET No. 1 of 2  
PROJECT No. 0800

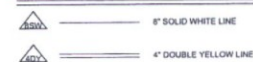
ATTACHMENT 12

03-ZN-2017  
03/27/2019

3-ZN-2017



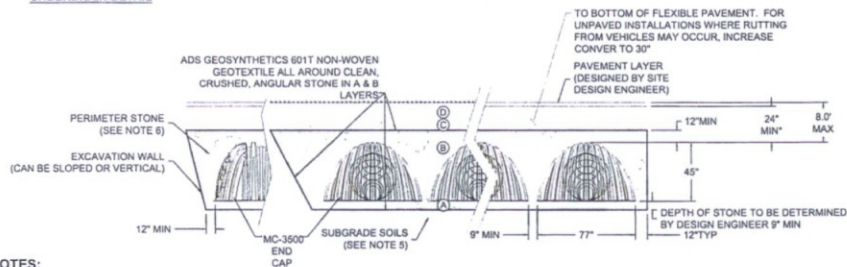
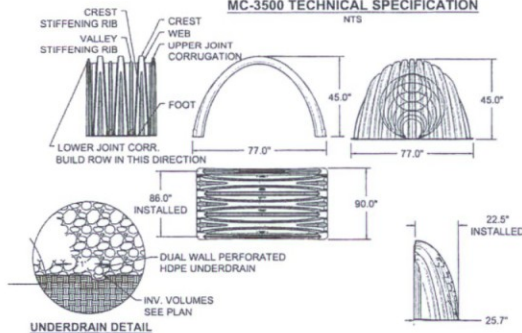
#### LEGEND



#### PAVING, GRADING AND DRAINAGE NOTES

- 1 GRADE TO DRAIN
- 2 GRADE 4' WIDE DRAINAGE SWALE TO DRAIN, LINE WITH 4" DIA. LANDSCAPE ROCK.
- 3 2' WIDE CURB OPENING.
- 4 RETAINING WALL WITH SAFETY RAIL. WALL HEIGHT VARIES, PER PLAN. WALL FOOTING SHALL EXTEND BELOW TOP OF BANK TURN DOWN FOR RIP RAP, WHERE APPLICABLE ALONG EX. CHANNEL.
- 5 EXPOSED STEM WALL REFER TO ARCHITECTURAL PLANS.
- 6 MIN. 2' SAWCUT AND REMOVE EX. A.C.C.P. ROADWAY. PROTECT EXISTING ASPHALT CONCRETE TO REMAIN.
- 7 DRIVEWAY PER C.O.S. STD. DTL. 2255; SIDEWALK MODIFIED PER PLAN.
- 8 WIDEN A.C.C.P. ROADWAY TO LIMITS SHOWN.
- 9 OBLITERATE PAVEMENT MARKINGS
- 10 MATCH EXISTING.
- 11 2' DEEP RIP RAP D50 + 6\"/>

#### MC-3500 TECHNICAL SPECIFICATION



#### NOTES:

1. MC-3500 CHAMBERS SHALL CONFORM TO THE REQUIREMENTS OF ASTM F2418 "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
2. MC-3500 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
3. "ACCEPTABLE FILL MATERIALS" TABLE ABOVE PROVIDES MATERIAL LOCATIONS, DESCRIPTIONS, GRADATIONS, AND COMPACTION REQUIREMENTS FOR FOUNDATION, EMBEDMENT, AND FILL MATERIALS.
4. THE "SITE DESIGN ENGINEER" REFERS TO THE ENGINEER RESPONSIBLE FOR THE DESIGN AND LAYOUT OF THE STORMTECH CHAMBERS FOR THIS PROJECT.
5. THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
6. PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
7. ONCE LAYER 'C' IS PLACED, ANY SOIL/MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.

Volume Provided			
Number of chambers	6	Volume Per Chamber	130 cf
Number of End Caps	2 (1 PIPE)	Volume Per End Cap	15 cf
Area	440 sf	Excavation Length	52 ft
Perimeter	121 ft	Excavation Width	8 ft
Stone above	12 in	Excavation Depth (including cover)	6 ft
Stone below	9 in	NOTE: TOTAL LENGTH OF STORAGE TANK = CHAMBERS PLUS END CAPS. EACH CHAMBER IS 7.17 FT IN LENGTH AND EACH END CAP IS 1.88 FT IN LENGTH.	
Volume in stone	40 %		
Length of Isolator Row	47 ft		
Volume in chambers	# of Chambers * 130.9		659 cf
Volume in End Caps	# of caps * 25.6		31 cf
Volume of excavation	L X W X D		2432 cf
Amount of stone	Volc - Vcham		1731 cf
Volume in stone	Volc * Amount <sub>stone</sub>		693 cf
Amount of Filter Fabric	2*Area + Perimeter * (6 * Cover)		1852 sf
Volume Provided	V <sub>rock</sub> + V <sub>stone</sub>		1352 cf



EXPIRES 12/31/2019

#### DEER VALLEY TOWNHOMES

#### PRELIMINARY GRADING & DRAINAGE



DATE	DESCRIPTION
06/27/18	CITY SUBMITTAL
02/06/19	CITY SUBMITTAL
03/25/19	CITY SUBMITTAL

CHECKED BY: LMN

DRAWN BY: CMA

TITLE: **PRELIMINARY GRADING & DRAINAGE PLAN**

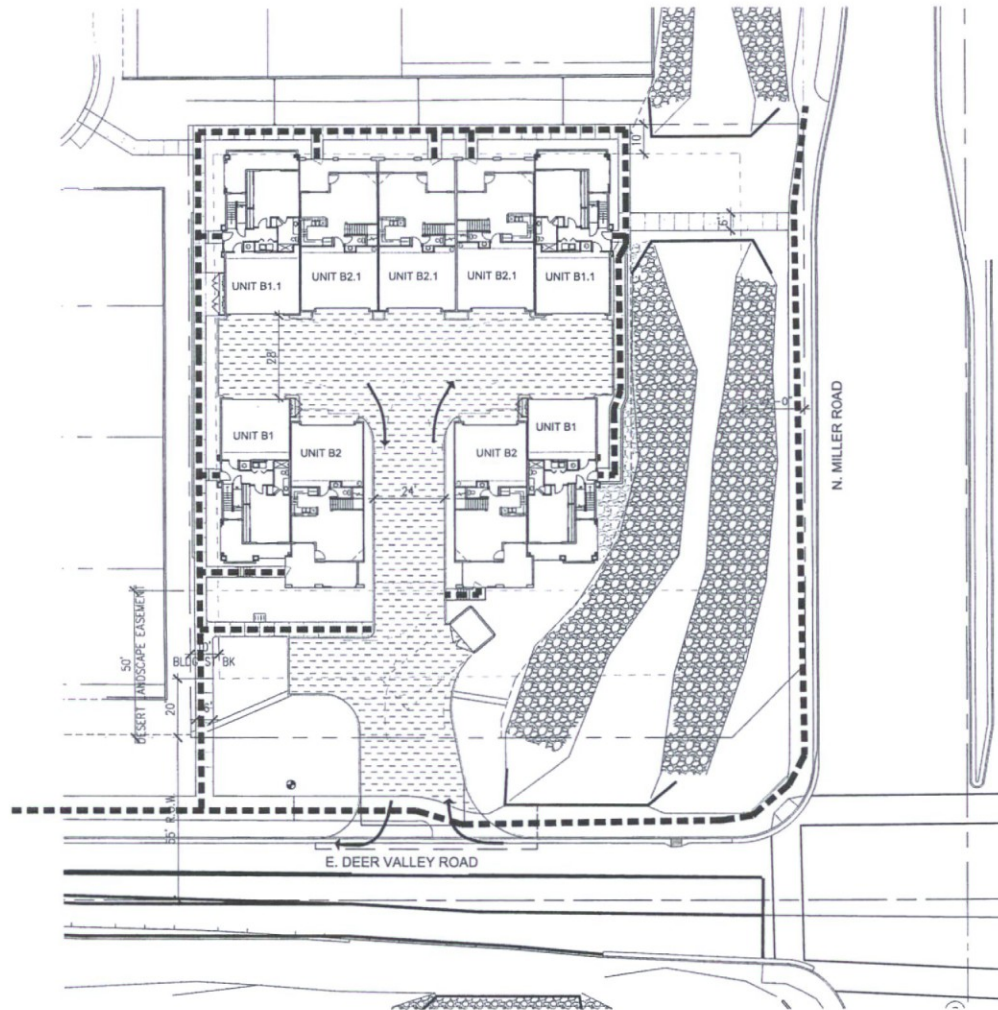
SHEET No.

2 of 2

PROJECT No.  
0800

**03-ZN-2017**  
**03/27/2019**

# ATTACHMENT 13



PARKING PLAN

SCALE 1" = 20'-0"



<b>PARKING:</b>	
PARKING REQUIREMENTS	REQUIRED: 2 PARKING PER EACH TOWNHOME
	PROVIDED EACH TOWNHOME 2 PARKING SPACES IN PRIVATE GARAGES
GUEST PARKING	NO REQUIREMENTS

## DEER VALLEY & MILLER

21818 N. MILLER ROAD  
SCOTTSDALE, AZ 85255

REVISION SCHEDULE



**WHITNEYBELL PERRY INC**  
1102 East Missouri Avenue  
Phoenix, Arizona 85014  
575 W Chandler Blvd, Suite 123  
Chandler, Arizona 85224  
(602) 265-1891



ARCHITECTURE AND PLANNING

# A1.03

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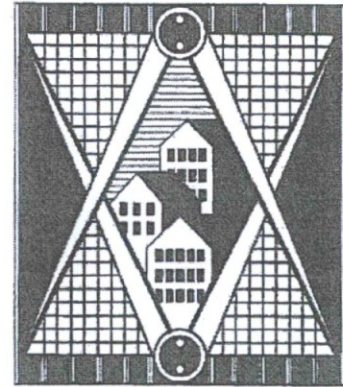
7/5/2018 11:31 AM

PARKING  
SITE PLAN

**03-ZN-2017**  
**03/27/2019**

**WHITNEYBELL PERRY INC**  
**ARCHITECTURE & PLANNING**  
575 W. Chandler Blvd Suite 123 •  
Chandler, AZ 85225

**WHITNEYBELL PERRY INC**  
**ARCHITECTURE & PLANNING**



**PHOENIX ■ CHANDLER**

Case number: 3-ZN-2017 Deer Valley Townhomes

### Neighborhood Meeting Review Report

Neighborhood meeting notification was sent out to the Interested Parties on October 16<sup>th</sup>, 2018.

A site plan, exterior elevations and an aerial plan showing the location of the proposed site was part of the package with the notification letter.

Attached are:

Notification letter sent out to contact neighbors;

A map showing the location of neighbors attended the meeting;

List of names, and addresses of interested parties;

The meeting sign-in sheet;

The complete affidavit of sign posting.

A written summary of the neighborhood meeting is also attached to the report.

## Masuda Yasmin

---

**From:** Vaishali Carpenter  
**Sent:** Wednesday, October 17, 2018 11:18 AM  
**To:** JMurillo@ScottsdaleAz.Gov  
**Cc:** Castro, Lorraine; warddevelopment@yahoo.com; Zachary Pebler; Mike Perry; Teresa Hill; Masuda Yasmin  
**Subject:** Deer Valley Town Homes\_ Neighborhood Meeting  
**Attachments:** Mailing Labels.pdf; neighborhood packet.pdf

Dear Mr. Murillo,

Please find attached the notification letter with exhibits mailed out yesterday to the recipient's whose names and addresses were provided by City of Scottsdale. The sign posting affidavit will be sent directly to City of Scottsdale by Sign-A-Rama.

Please let me know if you have any questions.

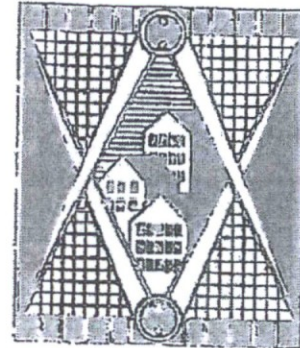


Vaishali Carpenter, Intl. Assoc. AIA ARBUK  
Operations Administrator  
**WHITNEYBELL PERRY INC**  
ARCHITECTURE & PLANNING

1102 E. Missouri Ave • Phoenix, AZ 85014  
575 W. Chandler Blvd Suite 123 • Chandler, AZ 85225  
phone 602-265-1891 x107 [www.whitneybellperry.com](http://www.whitneybellperry.com)  
fax 602-230-8458 Phoenix • fax 480-821-0148 Chandler

**WHITNEYBELL PERRY INC**  
**ARCHITECTURE & PLANNING**  
575 W. Chandler Blvd Suite 123 •  
Chandler, AZ 85225

**WHITNEYBELL PERRY INC**  
**ARCHITECTURE & PLANNING**



**PHOENIX • CHANDLER**

October 16, 2018

## **Neighborhood Meeting Notification.**

Case number: 3-ZN-2017 Deer Valley Townhomes

Dear Area Neighbor,

We invite you to a neighborhood meeting to learn more about the Town Home project proposed at the Northwest corner of Miller Road and Deer Valley. The existing 1-acre site will be developed into 9 townhome units.

The meeting will be held at the below listed time and place. Discussions at the meeting will include an overview of the proposed development, the architectural character, and address questions you may have.

The neighborhood meeting will be held:

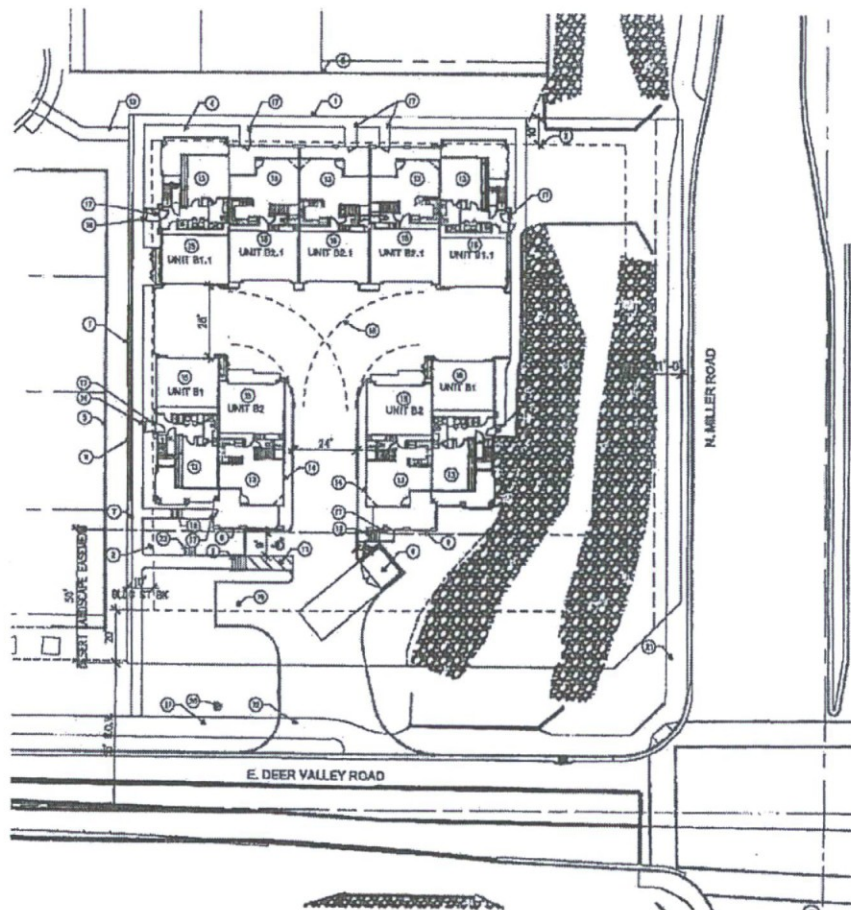
Monday, October 29, 2018  
6:00 pm – 7:00 pm  
Rooms: 1 and 2

Appaloosa Library,  
7377 E. Silverstone Drive  
Scottsdale, AZ 85255  
480-312-7323

Sincerely,

Mike Perry AIA, NCARB, LEED AP  
Principal.  
Phone 602-265-1891 • direct line 480-963-2911  
Email: [mike@whitneybellperry.com](mailto:mike@whitneybellperry.com)

cc: City of Scottsdale Planning Department.



SITE PLAN

SCALE 1" = 30'-0"



# DEVELOPMENT DATA

## DEVELOPMENT/OWNER :

WILSONVILLE, INC.  
300 W. LINDEN LN.  
PO BOX 1000  
SCOTTSDALE, ARIZONA 85266  
CONTACT: DEBRA WILSON

## ARCHITECTURAL :

1. WHITNEYBELL PERRY INC.  
1102 EAST VILLAGES AVENUE  
SCOTTSDALE, ARIZONA 85266  
CONTACT: JIMMY PERRY  
PHONE: 480-350-1100  
FAX: 480-350-1101  
E-MAIL: JIMMY@WHITNEYBELL.COM

## CIVIL :

1. TERRACE CONSULTING  
1102 EAST VILLAGES AVENUE  
SCOTTSDALE, ARIZONA 85266  
CONTACT: JIMMY PERRY  
PHONE: 480-350-1100  
FAX: 480-350-1101  
E-MAIL: JIMMY@WHITNEYBELL.COM

## LANDSCAPE :

1. PERRY & SONS LANDSCAPE/ARCHITECT  
1102 EAST VILLAGES AVENUE  
SCOTTSDALE, ARIZONA 85266  
CONTACT: PERRY & SONS

## SITE DATA

**SITE ADDRESS :**  
1102 EAST VILLAGES AVENUE  
SCOTTSDALE, ARIZONA 85266  
CONTACT: JIMMY PERRY

## APR :

1. WHITNEYBELL PERRY INC.  
1102 EAST VILLAGES AVENUE  
SCOTTSDALE, ARIZONA 85266  
CONTACT: JIMMY PERRY

## DEVELOPMENT :

1. WHITNEYBELL PERRY INC.  
1102 EAST VILLAGES AVENUE  
SCOTTSDALE, ARIZONA 85266  
CONTACT: JIMMY PERRY

## SITE AREA :

1. WHITNEYBELL PERRY INC.  
1102 EAST VILLAGES AVENUE  
SCOTTSDALE, ARIZONA 85266  
CONTACT: JIMMY PERRY

## BUILDING AREA :

1. WHITNEYBELL PERRY INC.  
1102 EAST VILLAGES AVENUE  
SCOTTSDALE, ARIZONA 85266  
CONTACT: JIMMY PERRY

## SITE COVERAGE :

1. WHITNEYBELL PERRY INC.  
1102 EAST VILLAGES AVENUE  
SCOTTSDALE, ARIZONA 85266  
CONTACT: JIMMY PERRY

## BUILDING HEIGHT :

1. WHITNEYBELL PERRY INC.  
1102 EAST VILLAGES AVENUE  
SCOTTSDALE, ARIZONA 85266  
CONTACT: JIMMY PERRY

## UNIT MIX :

1. WHITNEYBELL PERRY INC.  
1102 EAST VILLAGES AVENUE  
SCOTTSDALE, ARIZONA 85266  
CONTACT: JIMMY PERRY

## PARKING :

1. WHITNEYBELL PERRY INC.  
1102 EAST VILLAGES AVENUE  
SCOTTSDALE, ARIZONA 85266  
CONTACT: JIMMY PERRY

## NOTES REGARDING :

1. WHITNEYBELL PERRY INC.  
1102 EAST VILLAGES AVENUE  
SCOTTSDALE, ARIZONA 85266  
CONTACT: JIMMY PERRY

## BUILDING DATA

1. WHITNEYBELL PERRY INC.  
1102 EAST VILLAGES AVENUE  
SCOTTSDALE, ARIZONA 85266  
CONTACT: JIMMY PERRY

## NOTES :

1. WHITNEYBELL PERRY INC.  
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CONTACT: JIMMY PERRY

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1102 EAST VILLAGES AVENUE  
SCOTTSDALE, ARIZONA 85266  
CONTACT: JIMMY PERRY

## NOTES :

1. WHITNEYBELL PERRY INC.  
1102 EAST VILLAGES AVENUE  
SCOTTSDALE, ARIZONA 85266  
CONTACT: JIMMY PERRY

# BOTH KEY NOTES

1. DEVELOPMENT/PROPERTY LINE.
2. EXISTING BUILDING.
3. EXISTING DRIVEWAY.
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DEER VALLEY

&

MILLER

2108 N. MILLER ROAD  
SCOTTSDALE, AZ 85265

REVISION SCHEDULE



WHITNEYBELL PERRY INC.

1102 East Villages Avenue  
Phoenix, Arizona 85016  
602 W. Chandler Blvd., Suite 120  
Chandler, Arizona 85224  
(602) 295-1191



ARCHITECTURE AND PLANNING

1102 East Villages Avenue  
Phoenix, Arizona 85016  
602 W. Chandler Blvd., Suite 120  
Chandler, Arizona 85224  
(602) 295-1191

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1.0000 1.0000

REVISION SCHEDULE

PRELIMINARY

SITE PLAN



VIICINITY MAP



BLDG TYPE 2 - FRONT ELEVATION



**BLDG TYPE 2 - LEFT ELEVATION**

**BLDG TYPE 2 - RIGHT ELEVATION**  
3/16" = 1'-0"



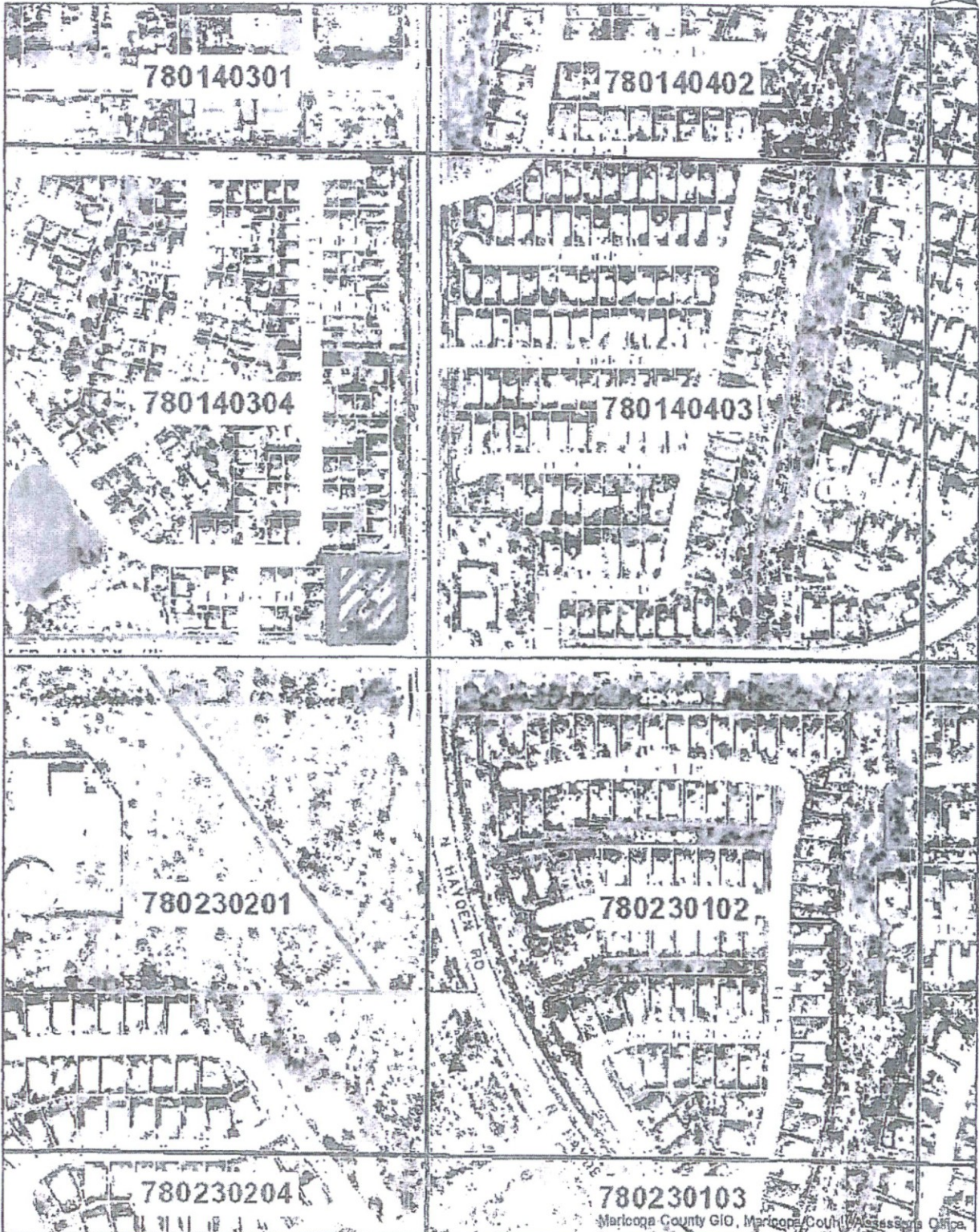
**BLDG TYPE 2 - REAR ELEVATION**  
2'16" x 1'5"

### A3.02

**PRELIMINARY  
BUILDING ELEVATIONS**



# Map





# Affidavit of Posting

Required: Signed, Notarized originals.  
Recommended: E-mail copy to your project coordinator.

☐ Project Under Consideration Sign (White)

☐ Public Hearing Notice Sign (Red)

Case Number:

3-ZN-2017

Project Name:

3-ZN-2017 Deer Valley Townhomes White sign

Location:

NW Corner of Miller Rd & Deer Valley

Site Posting Date:

10/18/2018

Applicant Name:

Mike Perry

Sign Company Name:

Scottsdale Signarama

Phone Number:

4809944000

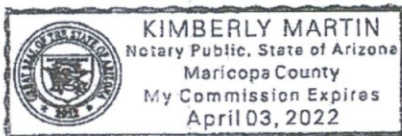
I confirm that the site has been posted as indicated by the Project Manager for the case as listed above.

Mike Perry  
Applicant Signature

10/19/18  
Date

Return completed original notarized affidavit AND pictures to the Current Planning Office no later than 14 days after your application submittal.

Acknowledged before me this the 19th day of October 2018



Kimberly Martin  
Notary Public  
My commission expires: 4/3/22

**City of Scottsdale -- Current Planning Division**

7447 E Indian School Road, Suite 105, Scottsdale, AZ 85251 • Phone: 480-312-7000 • Fax: 480-312-7088

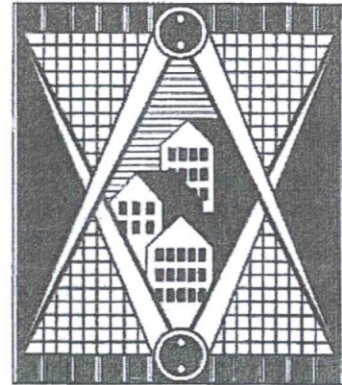


**Early Notification of  
Project Under Consideration**  
**Neighborhood Open House Meeting**  
The following information is being provided to you as part of the early notification process. This information is not intended to be a final decision or a guarantee of any kind. It is provided for your information and to allow you to provide input to the project. The project is currently in the early stages of planning and the information provided is subject to change. The project is currently in the early stages of planning and the information provided is subject to change.

10/18/2018 09:32

**WHITNEYBELL PERRY INC**  
ARCHITECTURE & PLANNING  
575 W. Chandler Blvd Suite 123 •  
Chandler, AZ 85225

**WHITNEYBELL PERRY INC**  
ARCHITECTURE & PLANNING



PHOENIX ■ CHANDLER

October 29, 2018

## Neighborhood Meeting Notes

Case number: 3-ZN-2017 Deer Valley Townhomes

Meeting was held at Appaloosa Library on October 29<sup>th</sup>, 2018 at 6:00 pm

The Meeting was held in Open House format. Color Site plan with aerial, building plans, unit plans, color exterior elevations, landscape plan, grading and drainage plan were displayed. An overall information on the project was presented by the architect to the neighbors.

Neighbors' concerns discussed at the meeting:

1. Concerns about traffic along Hayden/Miller.  
Response – Intersection of Deer Valley and Miller is upgraded.
2. Neighbors along the north property line are concerned about residents looking into their backyards from the second-floor balconies.  
Response – Deer Valley Townhomes(DVT) will be reaching out to Silverado HOA about planting extra tree within their landscape tract.
3. Concerns about the maintenance of the drainage channel along Miller  
Response – DVT will contact the City of Scottsdale on this issue
4. Neighbors are concerned about the amount of guest parking DTV is providing for guests.  
Response – Guest visiting Deer Valley Townhomes can parking in front of the garage. Also, DVT will look into scope of providing guest parking in addition to the one already provided.
5. Concern about the northwest sidewalk connection to the neighborhood, neighbors would appreciate not encouraging DVT residents to come into their neighborhood to use their amenity spaces.  
Response - DVT suggests a view fence with a gate, which can be locked if desired.
6. Neighbors prefer a for sale community.  
Response – DVT responded that they will develop and sell the Townhomes so there will be ownership responsibility.

7. Neighbor Diane – doesn't mind townhomes but does mind the 1000 acre Nationwide development. Believes it will change the whole community.

Response – DVT thinks with so many jobs created by the Nationwide development, there will be a shortage of housing in this neighborhood.

8. Concerns about noise and barking dogs, what will be done or who do they contact for DVT.

Response - DVT will have a similar standard same as Silverado Neighborhood.

Overall, the neighbors appreciated the presentation and for letting them know what is going on. They liked the project and the meeting adjourned with a round of applause from the neighbors.

Go  Maps N Miller Rd & E Deer Valley Rd



# DEER VALLEY TOWNHOMES

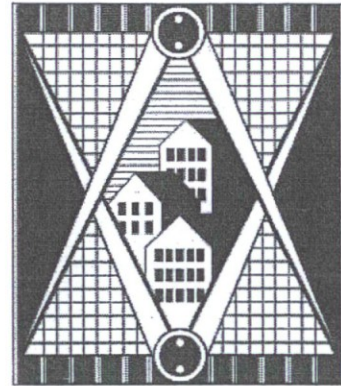
Monday, October 29, 2018

	Print Name	Address	Phone #	E-mail
①	DIANE SCHREAGER	7634 E. SAN FERNANDO	480 502 9344	LIGHTENYOURLIFE@MSN.com
*2	MICHELLE OTSTOT	7500 E Deer Valley Rd Unit 20	480 227-4337	otstot12@gmail.com
3	Sophra Lucey	"	480-254-3698	Sophra.estrada@lucy@russlyon.com
*4	CHARLES DONISTO	<del>7500 DEER VALLEY #22</del> 7500 E. RANDOL PHANTOM HILLS	480-2254077	KIMDI7051@GMAIL.COM
*5	Charles Kulish	" "	480-297-9253	charl@kulish@gmail.com
*6	Brad + Darcy Clement	7500 E Deer Valley Rd Lot 67	480 326 7047	hooha1@cox.net
*7	Audrey Bond	7500 E. Deer Valley Rd. # 11	480-419-3578	audreybond@cox.net
*8	Deborah Stec	7500 E Deer Valley Rd Unit 16	480-540-1367	deborahstec@hotmail.com
9	Will LeSuer	7500 E. Deer Valley Rd #27	480-282-1253	wlesuer@asu.edu
*10	Andrea Siemon	" " # 27	480-861-0979	siemon.andrea@gmail.com
11				
12				

\* contact to walk

**WHITNEYBELL PERRY INC**  
ARCHITECTURE & PLANNING  
575 W. Chandler Blvd Suite 123 •  
Chandler, AZ 85225

WHITNEYBELL PERRY INC  
ARCHITECTURE & PLANNING



PHOENIX ■ CHANDLER

October 16, 2018

## Neighborhood Meeting Notification.

Case number: 3-ZN-2017 Deer Valley Townhomes

Dear Area Neighbor,

We invite you to a neighborhood meeting to learn more about the Town Home project proposed at the Northwest corner of Miller Road and Deer Valley. The existing 1-acre site will be developed into 9 townhome units.

The meeting will be held at the below listed time and place. Discussions at the meeting will include an overview of the proposed development, the architectural character, and address questions you may have.

The neighborhood meeting will be held:

Monday, October 29, 2018  
6:00 pm – 7:00 pm  
Rooms: 1 and 2

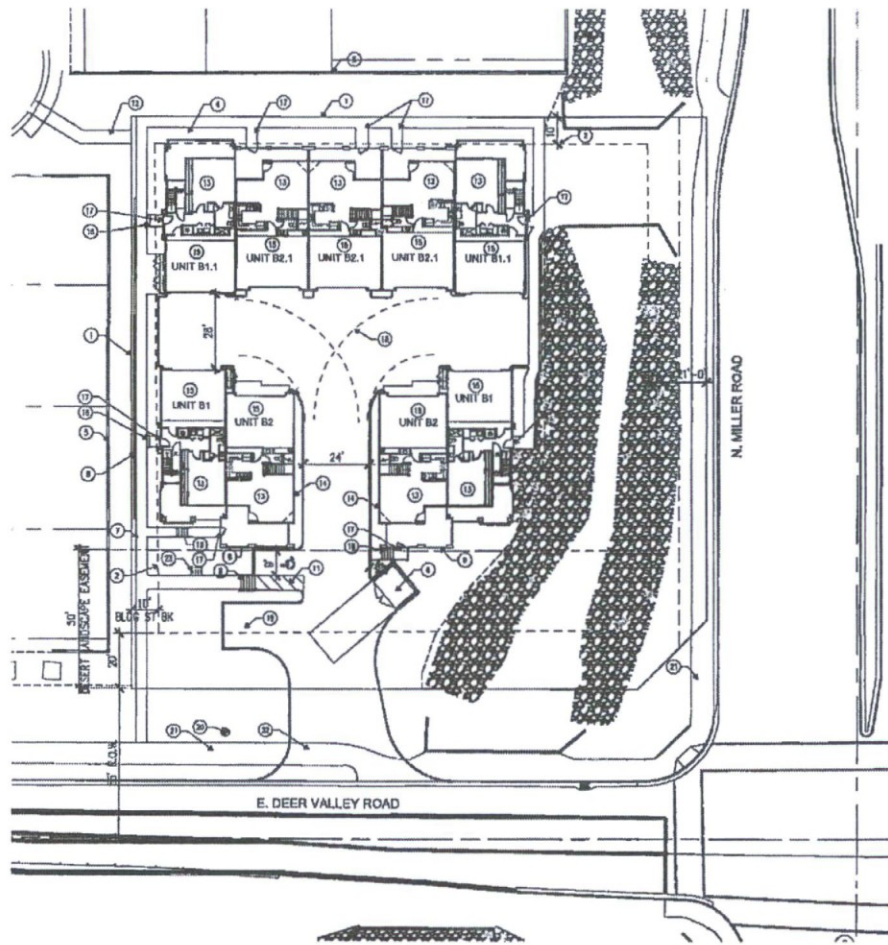
Appaloosa Library,  
7377 E. Silverstone Drive  
Scottsdale, AZ 85255  
480-312-7323

Sincerely,

By: James Michael Perry AIA, NCARB, LEED AP  
Principal

Phone 602-265-1891 • direct line 480-963-2911  
Email: [mike@whitneybellperry.com](mailto:mike@whitneybellperry.com)

cc: City of Scottsdale Planning Department.



**SITE PLAN**

SCALE: 1" = 20'-0"



**DEVELOPMENT DATA**

**DEVELOPER/OWNER:**  
 WHITNEYBELL PERRY INC.  
 1102 E. CHANDLER BLVD.  
 PHOENIX, AZ 85014  
 P.O. BOX 123  
 CHANDLER, AZ 85224  
 CONTACT: GERALD WEBSTER

**ARCHITECTURAL:**  
 11111 WHITNEYBELL PERRY INC.  
 1102 E. CHANDLER BLVD.  
 PHOENIX, AZ 85014  
 P.O. BOX 123  
 CHANDLER, AZ 85224  
 CONTACT: LISA NELSON, P.E.

**CIVIL:**  
 TERRACON CONSULTING  
 1102 E. CHANDLER BLVD.  
 PHOENIX, AZ 85014  
 P.O. BOX 123  
 CHANDLER, AZ 85224  
 CONTACT: LISA NELSON, P.E.

**LANDSCAPE:**  
 P.L.P. & R. LANDSCAPE ARCHITECT  
 1102 E. CHANDLER BLVD.  
 PHOENIX, AZ 85014  
 P.O. BOX 123  
 CHANDLER, AZ 85224  
 CONTACT: P.H. RYAN, L.S.

**SITE DATA**

**SITE ADDRESS:**  
 1102 E. CHANDLER BLVD.  
 PHOENIX, AZ 85014

**APR:**  
 1102 E. CHANDLER BLVD.  
 PHOENIX, AZ 85014

**OWNER:**  
 EXISTING PLANNED COMMUNITY CENTER (PCC)  
 PROPOSED MEDICAL CLINIC (MCL) (RECENTIAL, PH)

**SITE AREA:**  
 1102 E. CHANDLER BLVD. = 1.0 ACRES  
 1102 E. CHANDLER BLVD. = 1.01 ACRES

**BUILDING AREA:**  
 1 STORY BLDG. = 10,000 SF

**SITE COVERAGE:**  
 100% OF 1102 E. CHANDLER BLVD. = 10,000 SF

**BUILDING HEIGHT:**  
 REQUIRED = 10' MAX  
 PROPOSED = 10' MAX

**UNIT MIX:**  
 9 UNITS PROVIDED

**PARKING:**  
 10 SPACES PROVIDED  
 10 SPACES PROVIDED  
 10 SPACES PROVIDED

**BICYCLE REQUIREMENTS:**  
 10 SPACES PROVIDED  
 10 SPACES PROVIDED  
 10 SPACES PROVIDED

**BUILDING DATA**

**NAME:**  
 WHITNEYBELL PERRY INC.

**ADDRESS:**  
 1102 E. CHANDLER BLVD.  
 PHOENIX, AZ 85014

**PHONE:**  
 1102 E. CHANDLER BLVD.  
 PHOENIX, AZ 85014



**VICINITY MAP**

- SITE KEY NOTES**
1. DEVELOPMENT PROPERTY LINE.
  2. SITE BACK LINE.
  3. SIDEWALK DRAINAGE.
  4. LANDSCAPE AREA.
  5. EXISTING SITE WALL FOR ARIZONA BULWARK SUBDIVISION.
  6. PROPOSED TRASH ENCLOSURE.
  7. PROPOSED SIDEWALK.
  8. PROPOSED SIDEWALK WITH SAFETY RAIL, WALL HEIGHT 14" X 14" SEE CIVIL DRAWING.
  9. ACCESSIBLE RAMP.
  10. PLANTING.
  11. 6 FEET WIDE ACCESSIBLE WALK.
  12. 5' WIDE SIDEWALK CONTIGUOUS TO EXISTING SUBDIVISION.
  13. EXPOSED UTILITY.
  14. EXPOSED SIDEWALK.
  15. PRIVATE 3 CAR GARAGE IN EACH UNIT.
  16. STAIR WITH GUARDRAIL AND HANDRAIL, AT ENTRANCE TO LAUNDRY.
  17. EMERGENCY TURNING - OUTSIDE RADIUS 16' 0".
  18. SIGNAGE AREA FOR TYPICAL 10' X 10'.
  19. SIGNAGE AREA FOR TYPICAL 10' X 10'.
  20. SIGNAGE AREA FOR TYPICAL 10' X 10'.
  21. EXISTING SIDEWALK.
  22. REMOVE EXISTING SIDEWALK FOR PROPOSED SIDEWALK. SEE CIVIL DRAWING.
  23. SIDE RACK ON CONCRETE PAD.

**DEER VALLEY & MILLER**

21818 N. MILLER ROAD  
 SCOTTSDALE, AZ 85255

REVISIONS

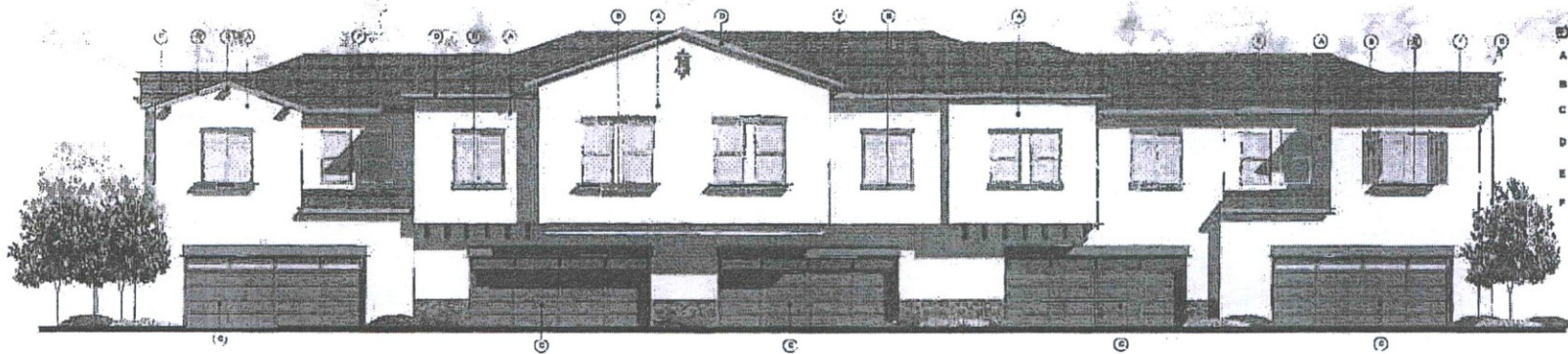


**WHITNEYBELL PERRY INC.**  
 1102 E. CHANDLER BLVD.  
 PHOENIX, ARIZONA 85014  
 1102 E. CHANDLER BLVD.  
 PHOENIX, ARIZONA 85014  
 (602) 255-1091



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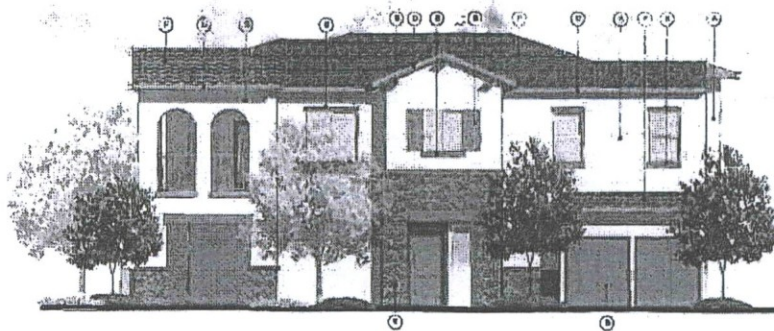
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 1102 E. CHANDLER BLVD.  
 PHOENIX, ARIZONA 85014  
 PRELIMINARY  
 SITE PLAN



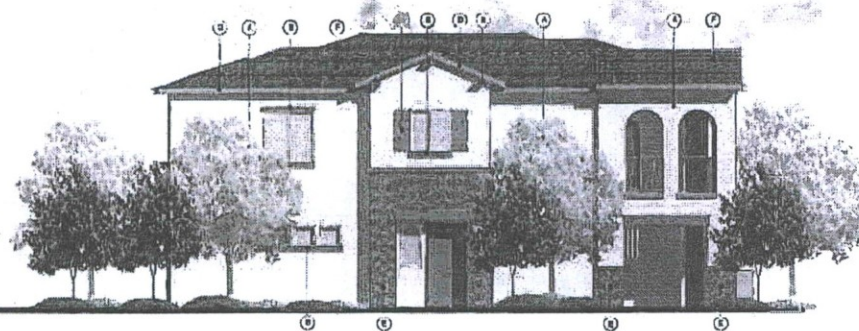
**BLDG TYPE 2 - FRONT ELEVATION**  
3/16" = 1'-0"

**EXTERIOR FINISH SCHEDULE**

- A BRN BODY - STUCCO  
DARK EDWARDS GABLE "SLATING PEATHER"  
WALL EXT. WALLS
- B ACCENT 1  
DARK EDWARDS DESIGNS "LONELY ROAD"  
POP-OUTS, DOORS, SHUTTERS
- C ACCENT 2  
DARK EDWARDS DESIGNS "BIG STONE HEADS"  
GARAGE DOORS
- D ACCENT 3 - TRN GOLDEN  
DARK EDWARDS DESIGNS "TICKY ROCK"  
PAGES
- E STONE VENEER - COTTAGEWOOD STONE
- F STYLE TUSCAN VILLA  
COLOR: SAVANNAH SPAN
- G ROOF TILE  
EAGLE PROFILES, CAPSTRAND (DESIGN BY  
COLORADO PAPERMA)



**BLDG TYPE 2 - LEFT ELEVATION**  
3/16" = 1'-0"



**BLDG TYPE 2 - RIGHT ELEVATION**  
3/16" = 1'-0"

**DEER VALLEY &  
MILLER**

SCOTTSDALE, ARIZONA

PRELIMINARY SCHEDULE



**WHITNEYBELL PERRY INC**  
1102 East Mesquite Avenue  
Phoenix, Arizona 85014  
575 W Chandler Blvd, Suite 123  
Chandler, Arizona 85224  
(602) 255-1881

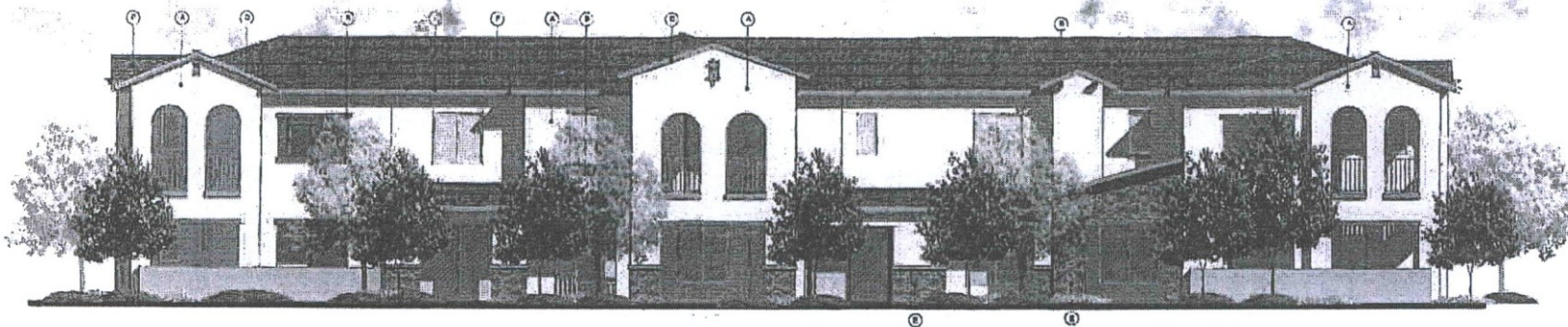


ARCHITECTURE AND PLANNING

**A3.02**

COPYRIGHT © WHITNEYBELL PERRY  
INC  
1/18/2018 2:00:11 PM

PRELIMINARY BUILDING ELEVATIONS



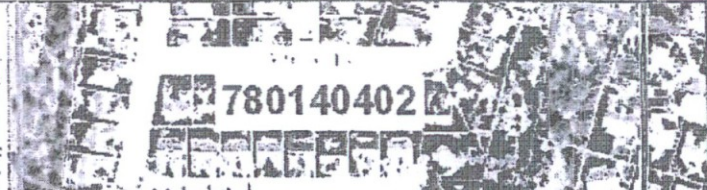
**BLDG TYPE 2 - REAR ELEVATION**  
3/16" = 1'-0"



# Map



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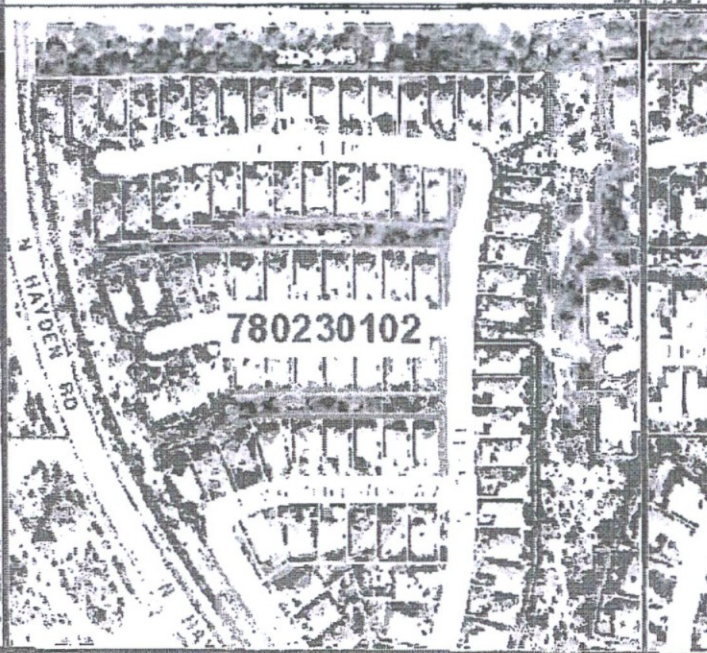
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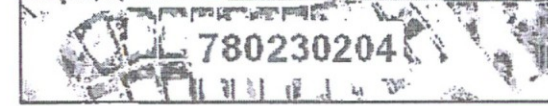
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780230201



780230102



780230204



780230103



## Neighborhood Meeting Minutes

### E Project, LLC

Architecture - Planning

DATE: FEBRUARY 28, 2017

917 W. Kathleen Rd, Phoenix, AZ 85023  
Phone 602.481.9282 Fax 480.359.4407  
E-mail: edmir@e-projectinternational.com

RE: Neighbors of 21818 North Miller Road

Case No. 628-PA-2016

Meeting held at Appaloosa Library on 02-27-2016 at 6:00pm

These neighbors' concerns are discussed at the meeting:

#### 1. Location of trash enclosure

Concerns: Vicinity to North Property Line and noise during trash pickup.

Response: Relocate trash enclosure to the south side of development, at the area of ADA parking. ADA parking to be relocated to west side of south driveway and 2 parallel parking spaces to be added along north driveway.

#### 2. On Site light poles:

Concerns: Would on site lighting disturb adjacent property owners?

Response: City of Scottsdale Outdoor lighting ordinance is specific in its requirements and development team will conform to all city requirements.

#### 3. On-site parking and guest parking:

Concerns: There is no enough guest parking and during gatherings parking might overflow to neighboring subdivision?

Response: Development team is providing 3 guest parking spaces which is more than zoning ordinance requires. We have also discussed possibility of closing off passage at Northwest corner to subdivision to the West.

#### 4. Privacy

Concerns: How is privacy protected to neighbors to the North and to the West?

Response: North Setback: Buildings are oriented East – West and north wall has only clerestory windows. Also distance between existing homes to the north and proposed homes is more than 30 feet.

West Setback: Distance between neighbors houses to the west and proposed homes is 20 feet.

In addition there will be additional landscape buffer to preserve privacy between existing and new homes.

#### 5. Property Values

Concerns: How will new townhomes affect value of existing homes?

Response: New townhomes will be platted as condominium plat and its value will not be comparable in real estate market to single family homes values.

## **6. Walkways and trails**

Concerns: New owners will most likely use other subdivisions parks or walking trails because limited on site facilities.

Response: Our complex has walkways along West and East side and development team will be conforming to City of Scottsdale design guidelines.

Meeting adjourned at 7:00pm.

If you have questions regarding this meeting, please contact our office:

Edmir Dzudza, AIA

Phone : 602-481-9282

Fax : 480-359-4407

E-mail : [edmir@e-projectinternational.com](mailto:edmir@e-projectinternational.com)

cc: City of Scottsdale Current Planning Department

**End of Document**



## Neighborhood Meeting Notification

### E Project, LLC

Architecture - Planning

DATE: FEBRUARY 10, 2017

917 W. Kathleen Rd, Phoenix, AZ 85023  
Phone 602.481.9282 Fax 480.359.4407  
E-mail: edmir@e-projectinternational.com

Dear Area Neighbor:

We invite you to a neighborhood meeting to learn more about the rezoning case at the Northwest corner of Miller Road and Deer Valley. The existing 1 acre site will be developed into 11 townhome units. The neighborhood meeting will be held at the below listed time and place. Discussions at the meeting will include an overview of the proposed development, the architectural character and answers to questions you may have.

The neighborhood meeting will be held:

Monday, February 27, 2017  
6:00 pm - 7:00 pm

Pinnacle Presbyterian Church  
25150 N. Pima Road  
Scottsdale, Arizona 85255  
480.585.9448

Sincerely,

A handwritten signature in dark ink, appearing to read 'Edmir Dzudza'.

Edmir Dzudza, AIA

Phone : 602-481-9282  
Fax : 480-359-4407  
E-mail : edmir@e-projectinternational.com

cc: City of Scottsdale Current Planning Department

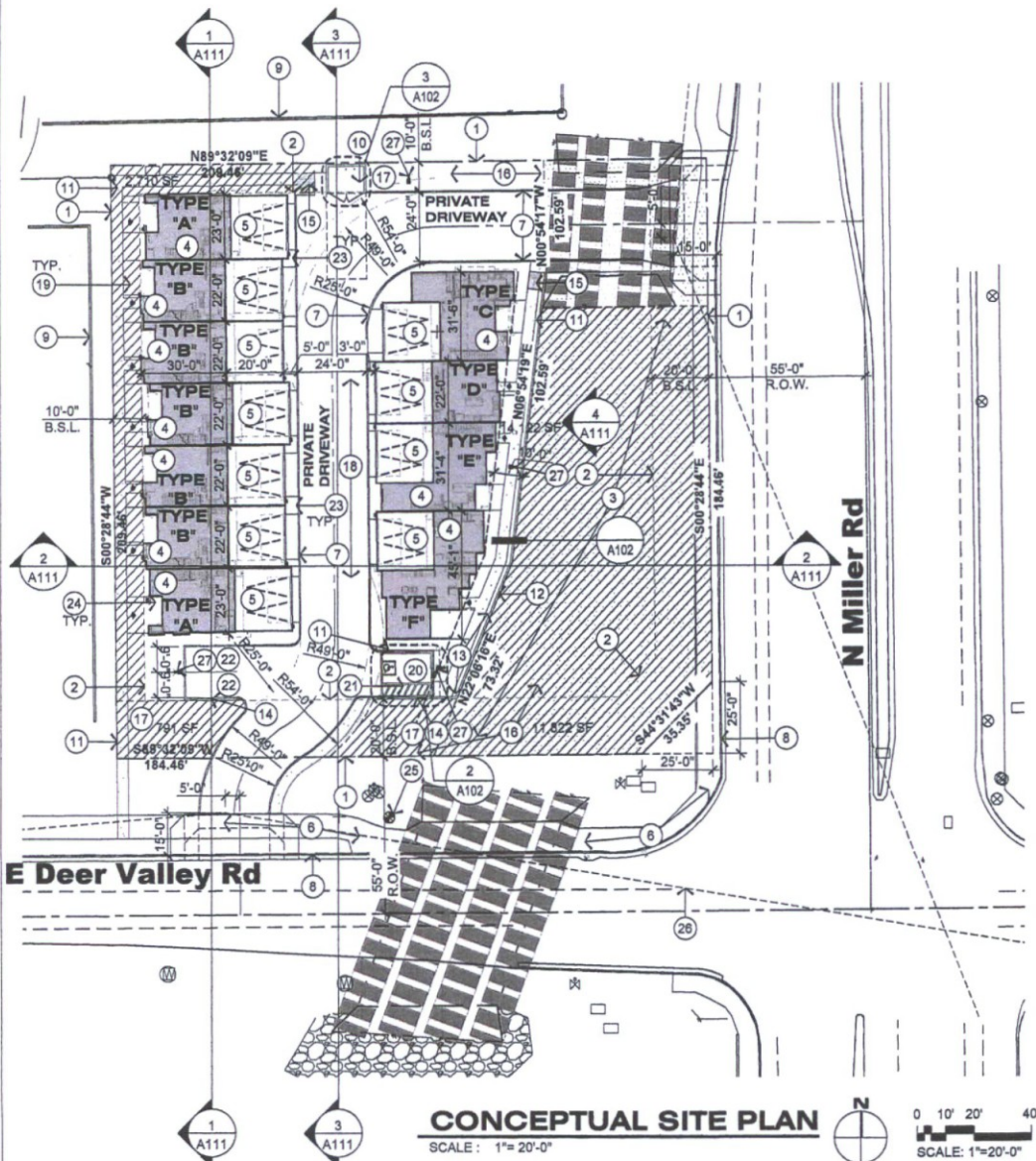
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Page 1 of 1



# Map





## OPEN SPACE CALCULATION

MIN. OPEN SPACE:	REQUIRED: 43,561 SF. X 0.36 = 15,682 SF PROVIDED: 2,710 SF + 14,196 SF = 16,906 SF
MIN. FRONTAGE OPEN SPACE:	REQUIRED: 43,561 X 0.12 = 5,227 SF 404.27' x 20' = 8,085.4 SF PROVIDED: 871 + 11,822 = 12,693 SF
PRIVATE OUTDOOR LIVING SPACE	REQUIRED: 10% OF EACH UNIT GROSS AREA PROVIDED: 68 + 68 + 200 = 376SF > 1826SF X 0.10 = 180SF

## PARKING CALCULATION

PARKING REQUIREMENTS	REQUIRED: EACH TOWNHOME 2 PARKING SPACES PROVIDED: EACH TOWNHOME 2 PARKING SPACES IN PRIVATE GARAGES
GUEST PARKING	NO REQUIREMENTS PROVIDED: 3 PARKING SPACES

## DENSITY CALCULATION

GROSS SITE AREA	69,939 SF
69,927 / 3,770 =	18.54 UNITS ALLOWED
18.54	11 UNITS PROVIDED

## KEYNOTES

- DEVELOPMENT PROPERTY LINE
- SETBACK LINE
- DRAINAGE EASEMENT (FLOOD ZONE)
- NEW BUILDING
- PRIVATE 2 CAR GARAGE IN EACH UNIT
- EXISTING SIDEWALK
- NEW 8" CURB
- EXISTING CURB
- EXISTING SITE WALL
- NEW TRASH ENCLOSURE 12'-6" x 9'-4"
- NEW WALKWAY 48" WIDE
- NEW RETAINING WALL. REFER TO WALL ELEVATION AND SECTION ON SHEET A102
- GREEN BELT. MIN. 8' FROM RETAINING WALL
- 36" HIGH SCREEN WALL
- ADA ACCESSIBLE RAMP 1:12 SLOPE MAX.
- LANDSCAPE AREA
- OPEN SPACE
- PRIVATE DRIVEWAY
- ENTRANCE TO UNIT
- 11 FEET WIDE ADA PARKING
- 5 FEET WIDE ADA ISLE
- PARKING SPACE 9'-0" X 18'-0"
- LANDSCAPE ISLAND
- PRIVATE OUTDOOR LIVING SPACE
- EXISTING FIRE HYDRANT
- SITE VISIBILITY LINE - 280 FEET
- LIGHT POLE. REFER TO ELECTRICAL SITE LIGHTING PLAN

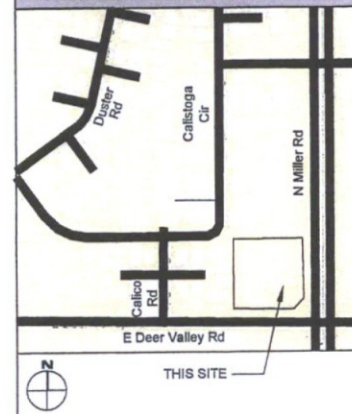
## SITE DATA

LOCATION: CORNER OF E DEER & N MILLER RD  
ADDRESS: 21818 N MILLER RD  
SCOTTS DALE 85255  
PARCEL #: 212-02-010E

NET AREA: 43,561.00 SF  
GROSS AREA:  
SOUTH: 184.48 x 55 = 10,145.30 SF  
EAST: 184.48 x 55 = 10,145.30 SF  
SOUTHEAST: 6,087.93 SF  
TOTAL GROSS AREA:  
43,560.00 + 10,145.30 x 2 + 6,087.93 = 69,938.53 SF  
(1.61 ACRES)

EXISTING ZONING: P.CO.C  
PROPOSED ZONING: R-3

## VICINITY MAP



## project

917 W. Kellam Rd. Phoenix AZ 85023  
phone 602.491.4702 fax 602.491.4703  
email: info@project.com

Rev.	Date	Submitter
01-15-2018		Pre-Application



EXPIRATION DATE: 12/31/2021  
SIGNED AND SEALED  
ELECTRONICALLY 07-18-2018

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Deer Valley  
Townhomes  
21818 N Miller Rd. Scottsdale 85255

Conceptual Site Plan

Date:	12-01-2018
Project No:	1916
Drawn By:	ED
Checked By:	ED
Approved By:	ED

Scale: 1"=10'-0"

A101



## Cover Letter

### E Project, LLC

Architecture - Planning

DATE: FEBRUARY 10, 2017

917 W. Kathleen Rd, Phoenix, AZ 85023  
Phone 602.481.9282 Fax 480.359.4407  
E-mail: edmir@e-projectinternational.com

Superintendent

Paradise Valley Unified School District

Case No. 628-PA-2016

Dear Madam or Sir,

This letter is being sent to you pursuant to City of Scottsdale Zoning Code (Ordinance No. 455), Article I, Administration And Procedures, Section 1.1500, Collaborative City And School Planning.

Please be advised that we are applying for a rezoning application that changes the zoning classification(s) from non-residential to residential classifications, and/or changes the residential zoning Or stipulation(s) resulting in greater residential densities allowed on the subject property. The property is currently zoned for **no** residential units; our application will result in a total of **11** units allowed, an increase of 1100%.

Enclosed please find a detailed project narrative, a location map, site plan and the Determination Form required by the City per the above Ordinance. I would like to schedule a meeting with you to discuss the above proposal. I can be reached at:

Edmir Dzudza, AIA

Sincerely,

Phone : 602-481-9282  
Fax : 480-359-4407  
E-mail : edmir@e-projectinternational.com

cc: City of Scottsdale Current Planning Department

End of Document

Page 1 of 1



PLANNING DEPARTMENT

2017 FEB 21 AM 10:32

# SCHOOL DISTRICT

## Determination of Adequate Facilities

City of Scottsdale Project Number: 628 -PA- 2016Project name: Deer Valley TownhomesProject Location 21818 N Miller RdApplicant Name: Beardley 22, IncPhone: 602-481-9282Applicant E-mail: edmir@e-projectinternational.comFax: 480-359-4407School District: Paradise Valley UnifiedI, Laura Felten hereby certify that the following determination has been made in regards to the Referenced project:

- ☒ The school district had adequate school facilities to accommodate the projected number of additional students generated by the proposed rezoning within the school district's attendance area; or
- ☐ The school district will have adequate school facilities via a planned capital improvement to be constructed within one year of the date of notification of the district and located within the school district's attendance area; or
- ☐ The school district has determined an existing or proposed charter school as contracted by the district can provide adequate school facilities for the projected increase in students; or
- ☐ The applicant and the school district have entered into an agreement to provide, or help to provide, adequate school facilities within the school district's attendance area in a timely manner (a copy said agreement is attached hereto); or
- ☐ The school district does not have adequate school facilities to accommodate projected growth attributable to the rezoning.

Attached are the following documents supporting the above certification:

- ☐ Maps of the attendance areas for elementary, middle and high schools for this location.
- ☐ Calculations of the number of students that would be generated by the additional homes.
- ☐ School capacity and attendance trends for the past three years.

Or;

I, \_\_\_\_\_, hereby request a thirty (30) day extension of the original discussion and response time.

W. Adler  
Superintendent or Designee2/22/17  
Date

### Planning and Development Services Department

7447 E. Indian School Road, Suite 105, Scottsdale, AZ 85251 ♦ Phone: 480-312-7000 ♦ Fax: 480-312-7088

## Murillo, Jesus

---

**From:** Murillo, Jesus  
**Sent:** Thursday, April 04, 2019 4:48 PM  
**To:** kimo17051@gmail.com  
**Subject:** 3-ZN-2017

Hello Mr. Dionisio,

My name is Jesus Murillo, I am a planner here with the City. I am providing an update on an email staff received from you in February of last year in regards to the above-mentioned case. I wanted to let you know that it appears that the case will be presented before the Planning Commission on April 24, 2019. If the case is heard on this date, the possible City Council hearing date would be May 21, 2019. Please feel free to contact me with any further questions or comments. I will send you a link to the report once it has been finalized.

Sincerely,

Jesús Murillo  
Senior Planner  
City of Scottsdale  
Planning and Development Services  
7447 E. Indian School Road, Ste. 105  
Scottsdale, AZ 85251  
Phone: 480-312-7849  
Fax: 480-312-9037

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**Murillo, Jesus**

---

**Subject:** 3-ZN-2017

**From:** James Kendra <[tractorjk@gmail.com](mailto:tractorjk@gmail.com)>

**Sent:** Thursday, April 18, 2019 8:28 AM

**To:** Projectinput <[Projectinput@Scottsdaleaz.gov](mailto:Projectinput@Scottsdaleaz.gov)>

**Subject:** 3-ZN-2017

Planning commission:

I am against these townhome being built in this area there's a large ditch next to it very dangerous for kids, more traffic, more noise, too close to current houses on both sides.

Thank you

James Kendra

616-498-1451

## Murillo, Jesus

---

**From:** Murillo, Jesus  
**Sent:** Thursday, April 04, 2019 4:44 PM  
**To:** emmy@skylightresearch.com  
**Subject:** 3-ZN-2019

Hello Ms. Johnson,

My name is Jesus Murillo, I am a planner here with the City. I found an email you sent to the City back in March of 2017 in regards to the above-mentioned case. I wanted to give you an update, and let you know that it appears that the case will be presented before the City Council on April 24, 2019. If it goes on this date, the possible City Council hearing date would be May 21, 2019. Please feel free to contact me with any further questions or comments. The applicant performed an open house this last October, but I did not see your name as an attendee – hence the email. I will send you a link to the report once it has been finalized.

Sincerely,

Jesús Murillo  
Senior Planner  
City of Scottsdale  
Planning and Development Services  
7447 E. Indian School Road, Ste. 105  
Scottsdale, AZ 85251  
Phone: 480-312-7849  
Fax: 480-312-9037

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## Murillo, Jesus

---

**From:** Murillo, Jesus  
**Sent:** Thursday, April 04, 2019 4:43 PM  
**To:** '4judy@cox.net'  
**Subject:** 3-ZN-2017

Hello Ms. Weller,

My name is Jesus Murillo, I am a planner here with the City. I found an email you sent to the City back in March of 2017 in regards to the above-mentioned case. I wanted to give you an update, and let you know that it appears that the case will be presented before the City Council on April 24, 2019. If it goes on this date, the possible City Council hearing date would be May 21, 2019. Please feel free to contact me with any further questions or comments. The applicant performed an open house this last October, but I did not see your name as an attendee – hence the email. I will send you a link to the report once it has been finalized.

Sincerely,

Jesús Murillo  
Senior Planner  
City of Scottsdale  
Planning and Development Services  
7447 E. Indian School Road, Ste. 105  
Scottsdale, AZ 85251  
Phone: 480-312-7849  
Fax: 480-312-9037

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## Murillo, Jesus

---

**From:** Castro, Lorraine  
**Sent:** Monday, February 12, 2018 8:03 AM  
**To:** kimo17051@gmail.com  
**Cc:** Murillo, Jesus  
**Subject:** RE: Case Number: 3-ZN-2017

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

From what I can see there is no activity on this case.

I will forward this to the Coordinator Jesus Murillo, to see if he has anything he can add to this email.

Thanks,

*Lorraine Castro*

**Planning Specialist**  
**City of Scottsdale**  
Planning and Development Services  
[Lcastro@ScottsdaleAZ.gov](mailto:Lcastro@ScottsdaleAZ.gov)  
480-312-7620

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---

**From:** kimo17051@gmail.com [mailto:kimo17051@gmail.com]  
**Sent:** Sunday, February 11, 2018 3:34 PM  
**To:** Castro, Lorraine <Lcastro@scottsdaleaz.gov>  
**Subject:** Case Number: 3-ZN-2017



I own the property adjacent to the prosposed land development. Can you tell me the status of this project? Thank You, Charles -- sent by Charles Dionisio (case# 3-ZN-2017)



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## Castro, Lorraine

---

**From:** emmy@skylightresearch.com  
**Sent:** Thursday, March 30, 2017 11:23 AM  
**To:** Castro, Lorraine  
**Subject:** case # 3-ZN-2017 DEER VALLEY TOWNHOMES



Hello, Thank you for letting us know about this plan. I strongly oppose making that parcel into multi-unit dwellings. The amount of medium to high density homes being allowed in the area is negatively impacting the area with increased traffic congestion and decreasing mountain views. Please let me know what I should do to further my cause. Thank you! -- sent by Emily Johnson (case# 3-ZN-2017)



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## Castro, Lorraine

---

**From:** 4judy@cox.net  
**Sent:** Monday, March 27, 2017 2:27 PM  
**To:** Castro, Lorraine  
**Subject:** Case#3-ZN-2017



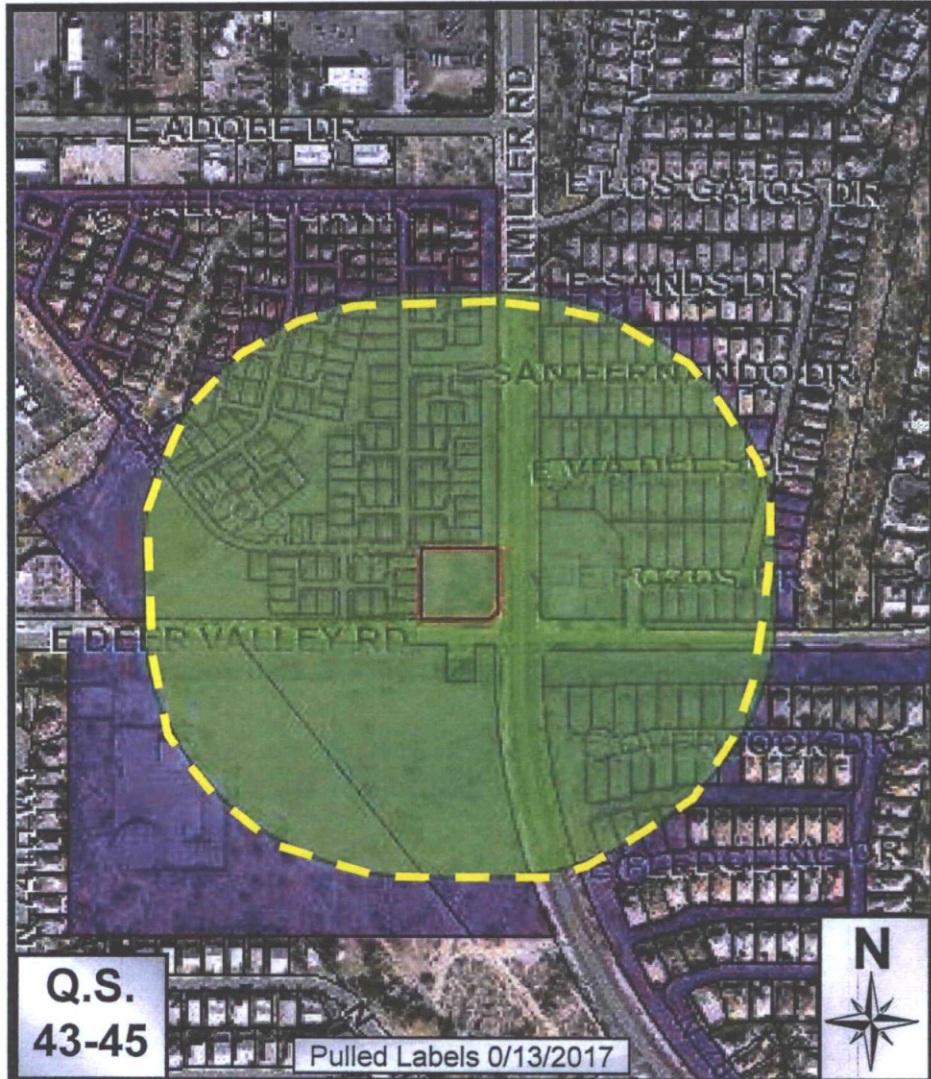
I am completely against this application for zoning change. There is too much density in the area now, and this property is way too small to accommodate anything like what they are requesting. Please keep me informed. Judy Weller -- sent by Judy Weller (case# 3-ZN-2017)



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# City Notifications – Mailing List Selection Map



## Map Legend:

- Site Boundary
- - - Properties within 750-feet
- 231 Postcards

## Additional Notifications:

- Interested Parties List
- Adjacent HOA's
- P&Z E-Newsletter
- Facebook
- Twitter
- Nextdoor.com
- City Website-Projects in the hearing process

## Deer Valley Townhomes

## 2-ZN-2017

# CITY COUNCIL REPORT



Meeting Date: May 21, 2019  
 General Plan Element: Land Use  
 General Plan Goal: Create a sense of community through land uses

## ACTION

### Deer Valley Townhomes 3-ZN-2017

#### Request to consider the following:

Adopt Ordinance No. 4396 approving a zoning map amendment, for a +/-1-acre site (212-02-010E), from the Planned Convenience Center (PCoC) district, to the Medium Density Residential (R-3) district, to allow for the development of a 9-unit, townhome community, located on the northwest corner of E. Deer Valley Road and N. Miller Road, at 21818 N. Miller Road.

#### Goal/Purpose of Request

The applicant's request is to rezone the subject site to allow for a 9-unit residential project. The zoning map amendment will allow for a use that is similar in density to communities located in the surrounding area.

#### Key Items for Consideration

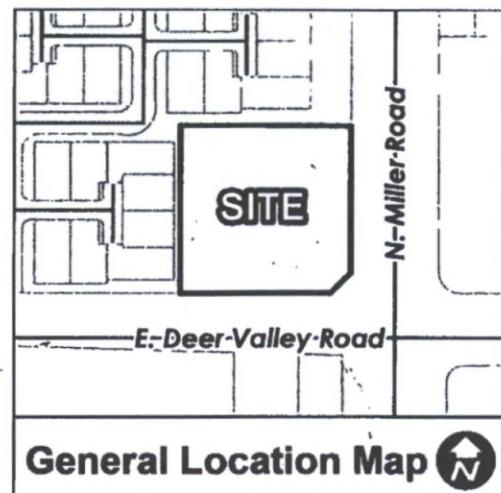
- 2001 General Plan
- The proposal includes Desert Scenic Roadway dedications along E. Deer Valley Road
- Previous commercial, retail, and restaurant uses approved on this site
- Comments Submitted in Opposition
- Planning Commission heard this case on April 24, 2019 and recommended approval with a 7-0 vote

#### OWNER

Beardsley 22, Inc.  
 222 W. Linger Lane  
 Phoenix AZ 85021

#### APPLICANT CONTACT

Masuda Yasmin  
 Whitney/Bell Architects Inc.  
 602-265-1891



## LOCATION

---

21818 N. Miller Road

## BACKGROUND

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### General Plan

The City of Scottsdale General Plan 2001 Land Use Element designates the property as Urban Neighborhoods (See Attachment #4), which includes areas of multi-family with densities usually more than eight dwellings per acre. The applicant proposes 9 townhome units on a +/- 1.61 gross acre site – equating to +/- 5.6 dwelling units per acre. Typically, requests for densities similar to the one being proposed would align with the Suburban Neighborhoods land use designation (more than 1, but less than 8 units per acre); however, the requested density – as compared to existing Urban Neighborhood developments within the area – and the development type being proposed (townhomes) more closely aligns with the Urban Neighborhoods land use category.

### Zoning

The site is zoned Planned Convenience Center (PCoC). The Planned Convenience Center (PCoC) zoning district allows for basic convenience goods shopping and services within walking distance of nearby residences. The district provides for retail and service establishments which supply commodities or perform services to meet the daily needs of the neighborhood.

The site was annexed into the City of Scottsdale in January 2, 1982. The site was then zoned to Single-family Residential District (R1-43), from the then County zoning designation, through case 32-ZN-1982, in July of the same year. In May of 1990, the site was rezoned from the Single-family Residential District (R1-43), to the existing Planned Convenience Center (PCoC) zoning designation.

In 1998, the site was approved for two Conditional Use Permits (cases 34-UP-1998 and 35-UP-1998) for a Gasoline Service Station and for a drive-thru bank. The site plan identified two buildings, open space, and parking areas. The project was never constructed, and the site remains undeveloped.

Similarly, in March of 2007, the site received Development Review Board approval for a retail, grocery, and restaurant building. This approved project was also not constructed.

### Context

The subject property is located on the immediate northwest corner of E. Deer Valley Road and N. Miller Road. Please refer to context graphics attached.

### Adjacent Uses and Zoning

- North: Multiple-family Residential, zoned R-5; Arizona Silverado Community.
- South: Service Residential, Planned Community District, zoned S-R/PCD; Vacant (State Land).
- East: Townhouse Residential, Environmentally Sensitive Lands, zoned R-4/ESL; Sonoran Hills Community (City of Scottsdale well site).
- West: Multiple-family Residential, zoned R-5; Arizona Silverado Community.

### Other Related Policies, References:

32-ZN-1982, 39-ZN-1989, 34-UP-1998, 35-UP-1998, and 12-DR-2007

2001 City of Scottsdale General Plan, as amended

1-GP-2004: Scenic Roadway Designations  
2008 Transportation Master Plan  
Design Standards and Policies Manual

## **APPLICANTS PROPOSAL**

---

### **Development Information**

The development proposal includes a request to rezone the subject property to establish a multi-family condominium community. The development proposal identifies three separate buildings totaling 9 units: one 5-unit building and two 2-unit buildings. The majority of the drainage improvements are existing and were constructed with previous surrounding projects (Arizona Silverado community).

• Existing Use:	Vacant (Drainage Improvements)
• Proposed Use:	9 Multi-family Residential Units
• Parcel Size:	+/-1 acre (net lot area)
• Building Height Allowed:	30 feet
• Building Height Proposed:	30 feet
• Parking Required:	18 spaces (2 spaces per unit)
• Parking Provided:	18 spaces (2 spaces per unit)
• Open Space Required:	15,682 square-feet
• Open Space Provided:	18,107 square-feet
• Frontage Open Space Required:	5,227 square-feet
• Frontage Open Space Provided:	7,652 square-feet
• Private Open Space Required:	1,600 square-feet
• Frontage Open Space Provided:	2,832 square-feet
• Density Allowed:	12 units
• Density Proposed:	9 units

## **IMPACT ANALYSIS**

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### **Land Use**

The applicant proposes nine (9) townhome units on a +/- 1.61 acre site – equating to +/- 5.6 dwelling units per acre. The Arizona Silverado development (39-ZN-1989), located immediately west and north of the subject, site was built at +/- 5.5 dwellings per acre and is designated as Urban Neighborhoods within the 2001 General Plan. Similarly, the Sonoran Hills Parcel E development (24-ZN-1990), located immediately east of the subject site, was built at +/- 4.7 dwellings per acre and is designated as Urban Neighborhoods within the 2001 General Plan. As such, the applicant's proposal both matches the density and type of development in the immediate area, thus aligning with the Urban Neighborhoods land use designation.

The existing zoning allows for a maximum of four (4) dwelling units per acre of gross lot area. This would allow for the site to provide 5 dwelling units under the existing zoning. The proposed zoning allows for twelve (12) units, with the applicant proposing nine (9) units. The existing zoning requires

24.72 percent of the net lot area to be provided as open space. The proposed zoning will require 36 percent of the site to be provided as open space – not including the private open space requirement. The applicant is providing the same amount of frontage open space with either zoning development requirements.

The applicant has stated that commercial uses have been a challenge to implement on the subject site. In 1998, the site was approved for two Conditional Use Permits (cases 34-UP-1998 and 35-UP-1998) for a Gasoline Service Station and for a drive-thru bank. The project was never constructed, and the site remains undeveloped. Again, in March of 2007, the site received Development Review Board approval for a retail, grocery, and restaurant building. This approved project was also not constructed.

### **Airport Vicinity**

The proposed development falls within a portion of the Airport Influence Area, AC-1. The code states that if a parcel is in two or more areas labeled AC-1, AC-2 and AC-3 shown on Figure 1, Airport Influence Area, the entire parcel shall meet the requirements of the most restrictive area. The Airport Influence Area, AC-1 is located along the southern boundary of the property, and no structures will encroach into the AC-1 area.

The owner has been stipulated to submit the FAA response to FAA Form 7460-1 and provide an aviation easement satisfactory to the city attorney's office prior to final plan approval. The owner has also been stipulated to make a fair disclosure to each purchaser of the Airport Influence Area. If a development is subject to Covenants, Conditions and Restrictions (CC&Rs), the owner shall include the disclosure in the Codes, Covenants, and Restrictions.

### **Transportation**

The increase in density will not create a significant increase in traffic to the area. The proposal meets all transportation requirements. Parking for the proposed site requires 18 spaces, 18 space are proposed as being provided. The ordinance does not require any additional parking for guest parking – not addressing neighborhood concern. The refuse enclosure will provide a rusted-steel finish, and view of the enclosure will be minimized with landscaping (See Attachments #2 - Exhibit A to Attachment 1 and #2 - Exhibit D to Attachment 1).

Currently, the site provides two vehicular access points to the site; a driveway along the N. Miller Road frontage, and a driveway along the E. Deer Valley Road frontage. The N. Miller Road driveway will be relandscape and removed as an access point. The site will enter and exit form E. Deer Valley Road. The proposed site plan identifies pedestrian connections to N. Miller Road, E. Deer Valley Road, and into the Arizona Silverado community.

### **Water/Sewer**

The site is a vacant lot with a channel along the east side. There are several existing water and sewer lines surrounding the property. Deer Valley Road has an existing sanitary sewer line that flows east to west. A sewer line exists in N. Miller Road that flows south. The proposed zoning map amendment will not affect the existing improvement requirements for the area. A private sewer line will service the site.

The proposed sewer system will utilize the existing sewer stub to the property and tie into the main within Calistoga Circle. A sewer line will service the site to each home. The downstream sewer

main and wastewater treatment plant has sufficient capacity to support the project's sewer proposed flows. The sewer flow from the project will be conveyed to the City of Scottsdale Wastewater Treatment Plant, 4.2 miles downstream.

**Public Safety**

Design of the internal driveways and aisles will conform to the driveway designation in the Design and Standards Policies Manual.

**School District Comments/Review**

The applicant sent a letter of notification to the Scottsdale School District and Scottsdale School District responded that there exists adequate facilities to support the rezoning request.

**Open Space**

The proposed zoning designation requires 15,682 square-feet of open space for the proposed site size. The open space and landscape plans identify the site providing 18,107 square-feet of total open space. The frontage open space requirement for the proposal is 5,227 square-feet; with 7,652 square-feet being provided. The multi-family units shall provide 1,600 square-feet of private open space for all nine (9) units; with 2,832 square-feet being provided.

The owner will be providing a 50-foot average Desert Scenic Buffer setback along E. Deer Valley Road. The applicant will be landscaping this area, minus area identified as driveway/aisle or as the refuse enclosure.

**Community Involvement**

The applicant conducted two open house meetings with the initial submittal of the proposed zoning map amendment. The first meeting was held on February 27, 2016, at the Pinnacle Presbyterian Church. The second meeting was held on February 27, 2017, at the Appaloosa Library. The applicant reported receiving comments in regards to location of trash enclosures, guest parking, privacy, property values, and walkways/trails.

Due to the fact that the case has been in process for a couple of years, the applicant conducted a third neighborhood meeting on October 16, 2018, at the Appaloosa Library. The concerns were reported to be similar in nature, with inclusion of concerns about landscaping and maintenance of the existing drainage channel found on the subject site. Please see Attachments #14 and #15 for a more detailed look at the community involvement.

**Community Impact**

The request, if approved, will introduce nine (9) additional residential units to the area. The increase in density will not create a significant increase in traffic. The community, as identified in the neighborhood meeting reports, has expressed concerns about guest parking. The ordinance does not require the proposed zoning district to provide guest parking. The applicant attempted to provide guest parking but did not due to the site's limited area.

The project has been stipulated to provide four (4) thirty-six-inch box trees and four (4) forty-eight-inch box trees along the norther boundary of the site to provide a vegetative buffer between this site and the neighborhood to the north. The additional vegetation would provide more privacy.

The project provides pedestrian connections to N. Miller Road, E. Deer Valley Road, and into the Arizona Silverado community. The proposed connections are designed to complete pedestrian fluidity among the communities located in this area. Some neighbors are concerned with residents from the subject project entering the existing Arizona Silverado community. A gate may be placed at the point of contact for both communities to lessen the inviting feeling of the connection.

**Policy Implications**

The proposed zoning district designation is consistent with the existing General Plan designation for this site. The zoning map amendment would introduce a new condominium project with similar characteristics and density to the surrounding neighborhood, as well as the introduction of a use that has been more successful than previous commercial attempts.

The elevations for the proposed condominium project will be required to be reviewed and approved by the Development Review Board through a separate application.

**OTHER BOARDS AND COMMISSIONS**

---

**Planning Commission:**

Planning Commission heard this case on April 24<sup>th</sup>, 2019 and recommended approval with a 7-0 vote.

**Recommended Approach:**

Staff recommended that the Planning Commission determine that the proposed zoning district map amendment is consistent and conforms with the adopted General Plan, and make a recommendation to City Council for approval of the zoning district map amendment, per the attached stipulations.

**RECOMMENDATION**

---

**Recommended Approach:**

Adopt Ordinance No. 4396 approving a zoning map amendment, for a +/-1-acre site (212-02-010E), from the Planned Convenience Center (PCoC) district, to the Medium Density Residential (R-3) district, to allow for the development of a 9-unit, townhome community, located on the northwest corner of E. Deer Valley Road and N. Miller Road, at 21818 N. Miller Road.

**RESPONSIBLE DEPARTMENT**

---

**Planning and Development Services**

Current Planning Services

**STAFF CONTACT**

---

Jesus Murillo

Senior Planner

480-312-7849

E-mail: [jmurillo@scottsdaleAZ.gov](mailto:jmurillo@scottsdaleAZ.gov)

**APPROVED BY**


---



---

Jesus Murillo, Report Author

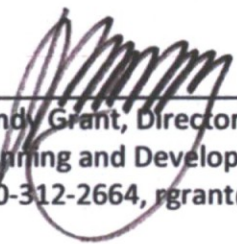
5-2-19  
Date



---

Tim Curtis, AICP, Current Planning Director  
480-312-4210, tcurtis@scottsdaleaz.gov

5/3/2019  
Date



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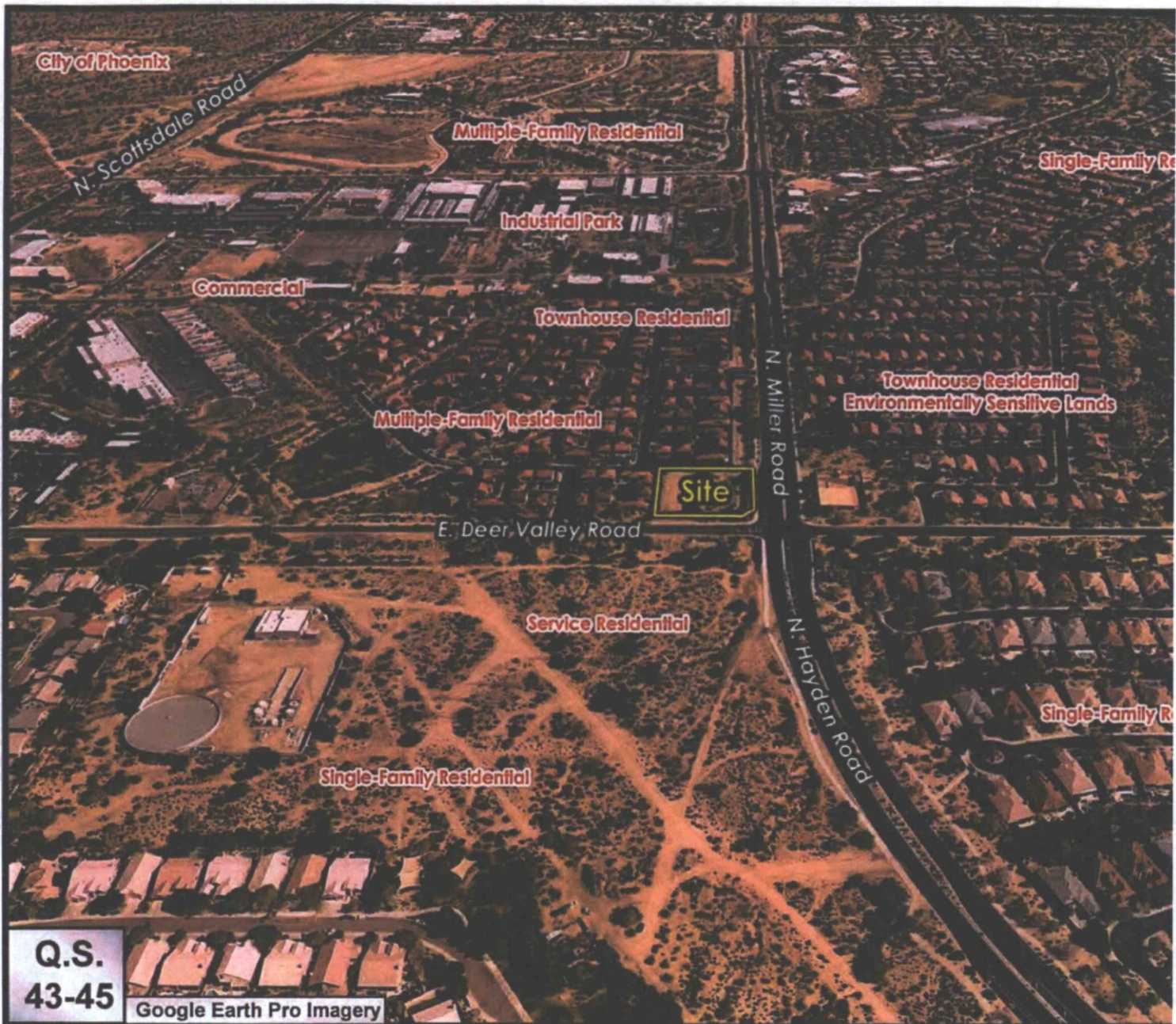
Randy Grant, Director  
Planning and Development Services  
480-312-2664, rgrant@scottsdaleaz.gov

5/7/19  
Date

## ATTACHMENTS

---

1. Context Aerial
- 1A. Aerial Close-Up
2. Ordinance No. 4396
  - Exhibit 1: Stipulations
  - Exhibit A to Exhibit 1: Site Plan
  - Exhibit B to Exhibit 1: Hardscape Plan
  - Exhibit C to Exhibit 1: Open Space Plan
  - Exhibit D to Exhibit 1: Landscape Plan
  - Exhibit 2: Zoning Map
3. Applicant's Narrative
4. General Plan Land Use Map
5. Existing Zoning Map
6. Approved Conditional Use Permit - Gasoline Service Station (34-UP-1998)
7. Approved Conditional Use Permit - Drive-thru Bank (35-UP-1998)
8. Approved Development Review Board Site Plan (12-DR-2007)
9. Proposed Site Plan (Color)
10. Proposed Landscape Plan (Color)
11. Proposed Grading and Drainage Plan
12. Proposed Parking Plan
13. Citizen Involvement – October 16, 2018 Open House
14. Citizen Involvement – February 27, 2016 and February 27, 2017 Open Houses
15. Public Correspondence
16. AC-1 Influence Area Map
17. City Notification Map
18. April 24<sup>th</sup>, 2019 Planning Commission meeting minutes



## Deer Valley Townhomes

ATTACHMENT #1



Townh  
Environme

Multiple-Family Residential

Site

N. Miller Road

E. Deer Valley Road

N. Hayden Road

Service Residential

Q.S.  
43-45

Google Earth Pro Imagery

# Deer Valley Townhomes

ATTACHMENT #1A

3-

ORDINANCE NO. 4396

AN ORDINANCE OF THE COUNCIL OF THE CITY OF SCOTTSDALE, MARICOPA COUNTY, ARIZONA, AMENDING ORDINANCE NO. 455, THE ZONING ORDINANCE OF THE CITY OF SCOTTSDALE, BY AND FOR THE PURPOSE OF CHANGING THE ZONING ON THE "DISTRICT MAP" TO ZONING APPROVED IN CASE NO. 3-ZN-2017 FROM THE PLANNED CONVENIENCE CENTER (PCOC) DISTRICT, TO THE MEDIUM DENSITY RESIDENTIAL (R-3) DISTRICT, ON A +/- 1 ACRE SITE, LOCATED ON THE NORTHWEST CORNER OF E. DEER VALLEY ROAD AND N. MILLER ROAD, AT 21818 N. MILLER ROAD.

WHEREAS, the Planning Commission held a hearing on April 24<sup>th</sup>, 2019;

WHEREAS, the City Council held a hearing on May 21<sup>st</sup>, 2019; and

WHEREAS, the City Council finds that the proposed development is in substantial harmony with the General Plan of the City of Scottsdale and will be coordinated with existing and planned development; and

WHEREAS, it is now necessary that the comprehensive zoning map of the City of Scottsdale ("District Map") be amended to conform with the decision of the Scottsdale City Council in Case No. 3-ZN-2017.

NOW, THEREFORE, BE IT ORDAINED by the Council of the City of Scottsdale, as follows:

Section 1. That the "District Map" adopted as a part of the Zoning Ordinance of the City of Scottsdale, showing the zoning district boundaries, is amended by rezoning a +/-1-acre site located at northwest corner of E. Deer Valley Road and N. Miller Road, at 21818 N. Miller Road and marked as "Site" (the Property) on the map attached as Exhibit 2, incorporated herein by reference, from the Planned Convenience Center (PCoC) district, to the Medium Density Residential (R-3) district zoning.

Section 2. That the above rezoning approval is conditioned upon compliance with all stipulations attached hereto as Exhibit 1 and incorporated herein by reference.

PASSED AND ADOPTED by the Council of the City of Scottsdale this \_\_\_\_ of \_\_\_\_, 2019.

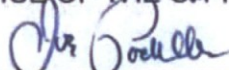
ATTEST:

CITY OF SCOTTSDALE, an Arizona  
Municipal Corporation

By: \_\_\_\_\_  
Carolyn Jagger  
City Clerk

By: \_\_\_\_\_  
W.J. "Jim" Lane  
Mayor

APPROVED AS TO FORM:  
OFFICE OF THE CITY ATTORNEY

By:  \_\_\_\_\_  
Bruce Washburn, City Attorney  
By: Joe Padilla, Deputy City Attorney

## **Stipulations for the Zoning Application:**

### **Deer Valley Townhomes**

**Case Number: 3-ZN-2017**

These stipulations are in order to protect the public health, safety, welfare, and the City of Scottsdale.

#### **SITE DESIGN**

1. **PROTECTION OF ARCHAEOLOGICAL RESOURCES.** Any development on the property is subject to the requirements of Scottsdale Revised Code, Chapter 46, Article VI, Protection of Archaeological Resources, Section 46-134 - Discoveries of archaeological resources during construction.
2. **CONFORMANCE TO CONCEPTUAL SITE PLAN.** Development shall conform with the conceptual site plan submitted by Whitneybell Perry and with the city staff date of 3-27-2019, attached as Exhibit A to Exhibit 1. Any proposed significant change to the conceptual site plan, as determined by the Zoning Administrator, shall be subject to additional action and public hearings before the Planning Commission and City Council.
3. **CONFORMANCE TO CONCEPTUAL HARDSCAPE PLAN.** Development shall conform with the conceptual hardscape plan submitted by Whitneybell Perry and with the city staff date of 3-27-2019, attached as Exhibit B to Exhibit 1. Any proposed significant change to the conceptual site plan, as determined by the Zoning Administrator, shall be subject to additional action and public hearings before the Planning Commission and City Council.
4. **CONFORMANCE TO CONCEPTUAL OPEN SPACE PLAN.** Development shall conform with the conceptual open space plan submitted by Whitneybell Perry and with the city staff date of 3-27-2019, attached as Exhibit C to Exhibit 1. Any proposed significant change to the conceptual site plan, as determined by the Zoning Administrator, shall be subject to additional action and public hearings before the Planning Commission and City Council.
5. **CONFORMANCE TO CONCEPTUAL LANDSCAPE PLAN.** Development shall conform with the conceptual landscape plan submitted by Whitneybell Perry and with the city staff date of 3-27-2019, attached as Exhibit D to Exhibit 1. Any proposed significant change to the conceptual site plan, as determined by the Zoning Administrator, shall be subject to additional action and public hearings before the Planning Commission and City Council.
  - a. With Development Review Board submittal, the owner shall provide a total of four (4) thirty-six-inch box trees and four (4) forty-eight-inch box trees along the norther boundary of the site.
  - b. With Development Review Board submittal, the owner shall provide the pattern to be provided on the rusted-metal refuse enclosure.

6. **MAXIMUM DWELLING UNITS/MAXIMUM DENSITY.** Maximum dwelling units and maximum density shall be as indicated on the Land Use Budget Table below.

Land Use Budget Table						
Parcel	Gross Acres	Zoning	Proposed DU/AC	Max DU/AC	Propose # of Units / Lots	Max # of Units / Lots
212-02-010E	1.61 acres	Proposed R-3	9 du/ac	9 du/ac	9 units	9 units

Redistribution of dwelling units is subject to the maximum density in the Land Use Budget Table and subject to city staff approval. The owner's redistribution request shall be submitted with the preliminary plat submittal to the Development Review Board and shall include a revised Master Development Plan and a revised Land Use Budget Table indicating the parcels with the corresponding reductions and increases.

7. **BUILDING HEIGHT LIMITATIONS.** No building on the site shall exceed 30 feet in height, measured as provided in the applicable section of the Zoning Ordinance.
8. **ALTERATIONS TO NATURAL WATERCOURSES.** Any proposed alteration to the natural state of watercourses with a peak flow rate of 750 cfs or less based on the 100 year – 2 hour rain event shall be subject to Development Review Board approval.
9. **OUTDOOR LIGHTING.** The maximum height of any outdoor lighting source, except any light sources for patios and/or balconies, shall be 12 feet above the adjacent finished grade.
10. **OUTDOOR LIGHTING FOR PATIOS AND BALCONIES.** Light sources that are utilized to illuminate patios and/or balconies that are above 12 feet shall be subject to the approval of the Development Review Board.
11. **DRIVE AISLES.** No drive aisle shall be less than twenty-four (24) foot wide exclusive of curb and gutter.
12. **PARKING STALL.** No parking stalls shall be placed in blind spot of drive aisles based on proximity of buildings.
13. **ACCESS RESTRICTIONS.** Access to the development project shall conform to the following restrictions:
- There shall be no site driveway(s) access location(s) to N. MILLER ROAD.
  - There shall be ONE (1) site driveway(s) access location(s) to E. DEER VALLEY ROAD to conform to the city's CL-1 driveway standards.
14. **SOUND ATTENUATION MEASURES.** With the construction document submittal, the owner shall submit plans and documentation demonstrating that the development has been designed shall be constructed to reduce interior to exterior noise by at least 25 decibels, in accordance with the most recent the noise attenuation measures at the time of the construction document submittal, and set forth in Section 4.00 of Appendix F of the FAA part 150 noise Compatibility Study, as amended.

### **DEDICATIONS**

15. **RIGHT-OF-WAY DEDICATIONS.** Prior to any permit issuance for the development project, the owner shall make the following fee simple right-of-way dedications to the City of Scottsdale:
  - a. **N. MILLER ROAD.** Ten (10) foot dedication, for a total sixty-five (65) foot wide west half-right-of-way width.
16. **VEHICLE NON-ACCESS EASEMENT.** Prior to issuance of any permits for the development project, the owner shall dedicate a one-foot-wide Vehicular Non-Access Easement adjacent to the existing driveway connection to N. MILLER ROAD
17. **DESERT SCENIC ROADWAY SETBACKS LOCATION, EASEMENT, AND IMPROVEMENTS.** Prior to issuance of any permit for the development project, the owner shall dedicate an average 50-foot-wide continuous Desert Scenic Roadway Easement to across the lot along the E. Deer Valley front. The width of the Desert Scenic Roadway Easement shall be measured from E. Deer Valley Road. Unless otherwise approved by the Development Review Board, the area within the Scenic Corridor Easement shall be left in a natural condition.
18. **VISTA CORRIDOR EASEMENTS.** Prior to issuance of any permit for the development project, the owner shall dedicate to the City a continuous Vista Corridor Easement to cover any watercourse with a peak flow rate of 750 cubic feet per second or greater, based on the 100 year – 2 hour rain event. The minimum width of the easement(s) shall be one hundred feet. Each easement shall include, at a minimum, any existing low flow channels, all major vegetation, and the area between the tops of the banks of the watercourse. At the time of the Development Review Board submittal, the owner shall stake the boundaries of the Vista Corridor Easement(s), as determined by city staff. Unless approved by the Development Review Board, the area within the Vista Corridor Easements shall be left in a natural state.
19. **PUBLIC NON-MOTORIZED ACCESS EASEMENT.** Prior to issuance of any permit for the development project, the owner shall dedicate to the City a continuous Public Non-Motorized Access Easement to the City of Scottsdale to contain the public sidewalk in locations where the sidewalk crosses on to the lot.
  - a. **AVIGATION EASEMENT.** Prior to the issuance of any permit, the owner shall dedicate an Avigation Easement, in a form acceptable to the City Attorney, or designee.
  - b. No structures shall be constructed within the Airport Influence Area, AC-1.
  - c. The owner shall make a fair disclosure to each purchaser of the Airport Influence Area. If a development is subject to Covenants, Conditions and Restrictions (CC&Rs), the owner shall include the disclosure in the Codes, Covenants, and Restrictions.

### **INFRASTRUCTURE**

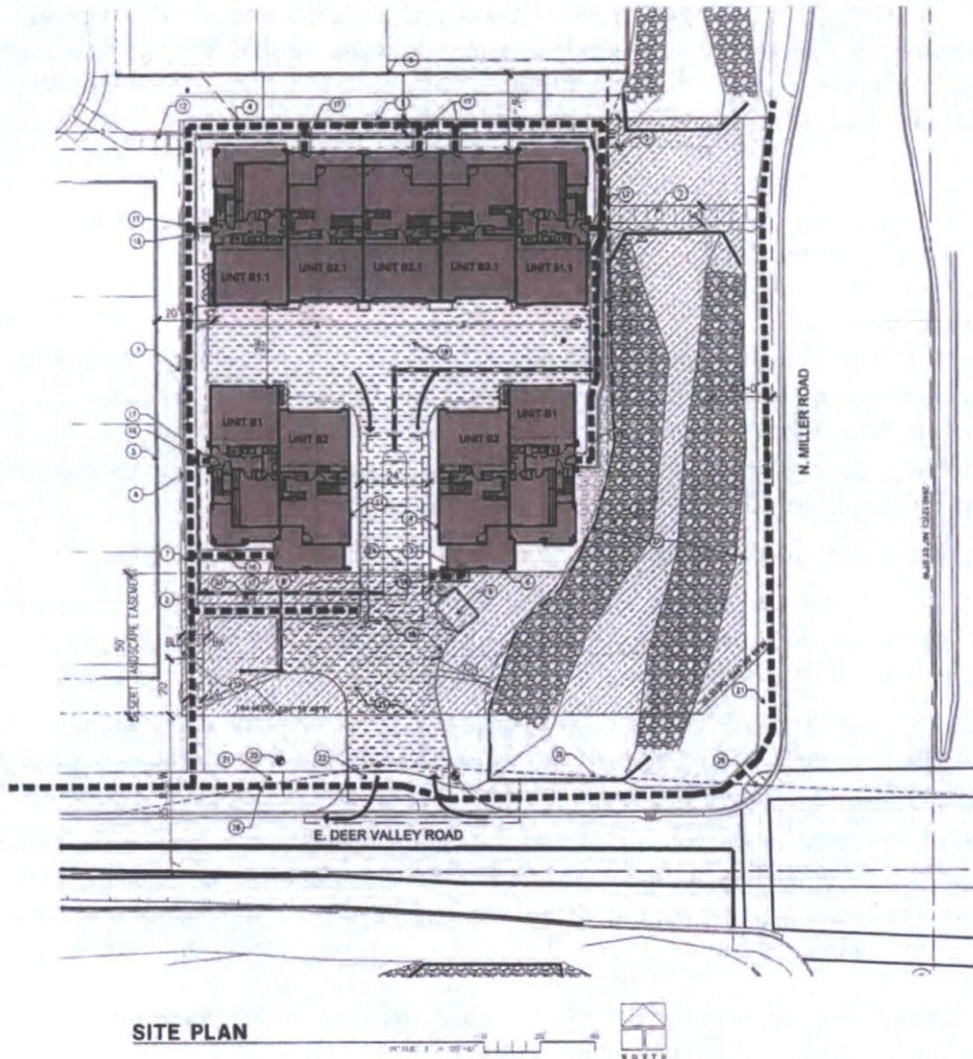
20. **CONSTRUCTION COMPLETED.** Prior to issuance of any Certificate of Occupancy or Certification of Shell Building, whichever is first, for the development project, the owner shall complete all the infrastructure and improvements required by the Scottsdale Revised Code and these stipulations.
21. **STANDARDS OF IMPROVEMENTS.** All improvements (curb, gutter, sidewalk, curb ramps, driveways, pavement, concrete, water, wastewater, etc.) shall be design and constructed in accordance with the applicable City of Scottsdale Supplements to the Maricopa Association of Governments (MAG)

Uniform Standard Specifications and Details for Public Works Construction, Maricopa Association of Governments (MAG) Uniform Standard Specifications and Details for Public Works Construction, the Design Standards and Policies Manual (DSPM), and all other applicable city codes and policies.

22. **CIRCULATION IMPROVEMENTS.** Prior to any permit issuance for the development project, the owner shall submit and obtain approval of construction documents to construct the following improvements:
  - a. **E. DEER VALLEY ROAD**
    - i. Construct additional pavement along site frontage to provide a minimum lane width of eleven (11) feet for left turning vehicles at the proposed site entrance with city standard tapers extended outside limits of site frontage transitioning to existing markings.
23. **WATER AND WASTEWATER IMPROVEMENTS.** Prior to any permit issuance for the development project, the owner shall submit and obtain approval of construction documents to construct all water and wastewater infrastructure improvements, including any new service lines, connection, fire-hydrants, and man-holes, necessary to serve the development.
24. **WATER AND SEWER FACILITIES EASEMENT.** Prior to any permit issuance for the development project, the owner shall secure a twenty (20) foot water and sewer facilities easement to the city of Scottsdale from adjacent project community owner's association for the water and sewer facilities located within Tract E of the Arizona Silverado subdivision being utilized by and for this project.
25. **FIRE HYDRANT.** The owner shall provide fire hydrant(s) and related water infrastructure adjacent to lot, in the locations determined by the Fire Department Chief, or designee.

#### **REPORTS AND STUDIES**

26. **DRAINAGE REPORT.** With the Development Review Board submittal, the owner shall submit a Drainage report in accordance with the Design Standards and Policies Manual for the development project. In the drainage report, the owner shall address:
  - a. Manning's roughness coefficient and bank station locations used in HEC-RAS model is subject to review and revision upon subsequent project case submittal.
  - b. Easement over proposed underground storage shall be renamed to D.E. from P.U.E.
27. **BASIS OF DESIGN REPORT (WATER).** With the Development Review Board (DRB) submittal, the owner shall submit a Final Basis of Design Report for Water for the development project in accordance with the Design Standards and Policies Manual for approval prior to DRB approval.
28. **BASIS OF DESIGN REPORT (WASTEWATER).** With the Development Review Board submittal, the owner shall submit a Final Basis of Design Report for Wastewater for the development project in accordance with the Design Standards and Policies Manual for approval prior to DRB approval.
29. **FAA DETERMINATION.** With the Development Review Board Application, the owner shall submit a copy of the FAA Determination letter on the FAA FORM 7460-1 for any proposed structures and/or appurtenances that penetrate the 100:1 slope. The elevation of the highest point of those structures, including the appurtenances, must be detailed in the FAA form 7460-1 submittal. Prior to any permit issuance for the development project, the owner shall provide noise disclosure notice to occupants, potential homeowners, employees and/or students in a form acceptable to the Scottsdale Aviation Director.



### DEVELOPMENT DATA

#### DEVELOPER/OWNER :

SEARLESLEY 23, INC.  
322 W. LINCOLN LN.  
PHOENIX, AZ 85021  
PH: (602) 952-8887  
E-MAIL: GORDON@SEARLESLEY.COM  
CONTACT: GERALD SEARLES

#### ARCHITECTURAL :

WHITNEYBELL PERRY INC.  
515 W. CHANDLER BLVD.  
SUITE 123  
CHANDLER, AZ 85226  
PH: (480) 255-1881 FAX: (480) 251-4145  
CONTACT: KIM PERRY, AIA, NCARB, LEED AP

#### CIVIL :

TERESA SCAPICOMI, TIAO  
1102 E. WILSON AVE.  
PHOENIX, AZ 85014  
PH: (602) 297-8732 FAX: (602) 297-8688  
CONTACT: LISA NELSON, P.E.

#### LANDSCAPE :

PHILIP R. BYAN LANDSCAPE ARCHITECT  
4915 E. QUINN WAY  
GLADIS, AZ 85021  
PH: (602) 952-5813 FAX: (602) 952-5874  
CONTACT: PHIL BYAN, A.L.A.

### SITE DATA

#### SITE ADDRESS:

PARC OF E. DEER VALLEY RD & N MILLER RD  
2145 MILLER RD.  
SCOTTSDALE, AZ 85055

#### APN:

214-02-002

#### ZONING:

EXISTING: PLANNED COMMERCIAL (CENTER POINT)  
PROPOSED: MEDIUM DENSITY RESIDENTIAL (R-1)

#### SITE AREA:

NET 43,861 SF ± 1.0 ACRES  
GROSS 49,836.32 SF ± 1.27 ACRES

#### BUILDING AREA:

1 STORY BLDG ± 12,858 SF (BLDG FOOT PRINT)  
TOTAL BLDG AREA ± 29,718 SF

#### SITE COVERAGE:

21.4% SF / 10.0% SF ± 1.0% OR 0.1%

#### BUILDING HEIGHT:

REQUIRED ± 30'-0" MAX  
PROPOSED ± 3 STORY, 38'-0" (MAX.) TO TOP OF HINGED ROOF

#### UNIT MIX:

8 UNITS PROPOSED

#### PARKING:

REQUIRED PARKING  
2 SPACES PER TOWNHOME  
10 TOWNHOME UNITS  
2 PRIVATE GARAGE SPACES

#### BICYCLE REQUIREMENT:

2 UNITS PER 10 TOWNHOME PARKING SPACES  
14 VEHICLE SPACES ± 4 SPACES  
PROVIDED ± 4 SPACES

### BUILDING DATA

#### USE

RESIDENTIAL GROUP R-2

#### AUTOMATIC SPRINKLER SYSTEM

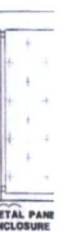
APFA OR SPRINKLER SYSTEMS

### SITE KEY

1. DRIVEWAY
2. DRIVEWAY
3. DRIVEWAY
4. DRIVEWAY
5. DRIVEWAY
6. DRIVEWAY
7. DRIVEWAY
8. DRIVEWAY
9. DRIVEWAY
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25. DRIVEWAY
26. DRIVEWAY



METAL PANE ENCLOSURE



METAL PANE ENCLOSURE



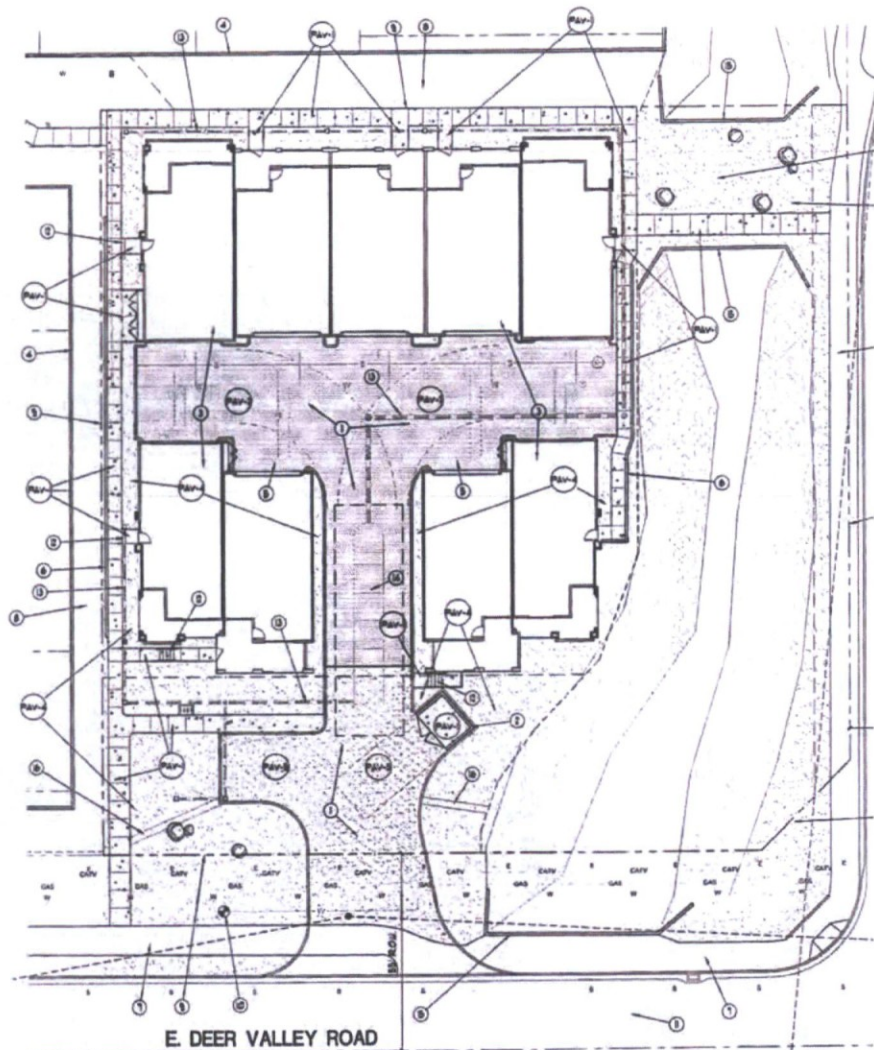
VICINITY MAP

### MATERIAL FINISH SCHEDULE:

TAG	MATERIAL	APPLICATION
PAV-1	BROOKED FINISH CONCRETE (INTEGRAL COLOR: SAN DIEGO BUFF)	SIDEWALKS + PATHS
PAV-2	ASPHALT DRIVEWAY	GROUND LEVEL DRIVEWAY
PAV-3	NATIVE VEGETATION + COBBLE	FOR EXISTING DRAINAGE WAY
PAV-4	DECOMPOSED GRANITE	LANDSCAPE TOPDRESSING
PAV-5	INTEGRAL COLOR CONCRETE COLOR: SAN DIEGO BUFF	DRIVEWAY

### HARDSCAPE KEY NOTES:

- ① DRIVEWAY
- ② TRASH ENCLOSURE
- ③ PROPOSED BUILDING
- ④ EXISTING CMU WALL (MIN. 8' HEIGHT)
- ⑤ ROOF OVERHANG
- ⑥ SITE RETAINING WALLS
- ⑦ EXISTING SCISSOR
- ⑧ EXISTING LANDSCAPE AND IRRIGATION ALONG NORTH AND WEST PROPERTY LINE TO REMAIN UNCHANGED
- ⑨ PROPERTY LINE
- ⑩ FIRE HYDRANT
- ⑪ EXISTING DRAINAGE PIPES
- ⑫ STEPS
- ⑬ NEW DRAINAGE PIPE
- ⑭ UNDERGROUND STORM WATER STORAGE
- ⑮ EXISTING CONCRETE HEADWALL
- ⑯ 4" SIDE DRAINAGE SHALE LINED W/ 4" DIA. ROCK PER CIVIL DUGS

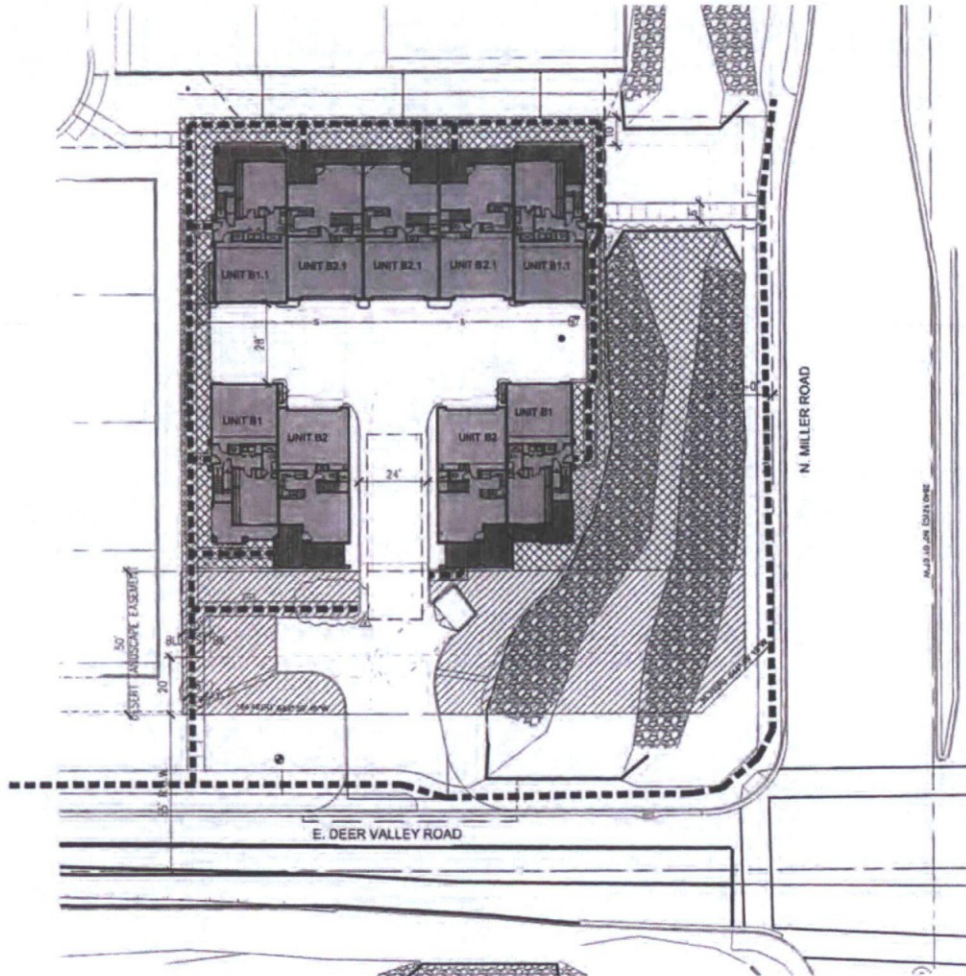


E. DEER VALLEY ROAD



Vicinity Map

Preliminary  
Hardscape  
Scale 1/16" = 1'  
GRAPHIC SCALE



OPEN SPACE PLAN

SCALE 1" = 50'



# SITE DATA

**ZONING:**  
EXISTING PLANNED CONVENIENCE CENTER  
PROPOSED: HIGH-DENSITY RESIDENTIAL

**SITE AREA:**  
NET 43,861 SF ± 1.8 ACRES

**BUILDING AREA:**  
2 STORY BLDG ± 35,312 SF

**SITE COVERAGE:**  
35,312 BLDG SF ± 80% OR 35%

**BUILDING HEIGHT:**  
PROPOSED ± 2 STORY, 28'-4" TO THE TOP

## OPEN SPACE CALCULATIONS

REQUIRED OPEN SPACES:	
REQUIRED MINIMUM OPEN AREA	NET
REQUIRED FRONTAGE OPEN SPACE	NET
PROPOSED FRONTAGE OPEN SPACE	7.0
REQUIRED COMMON OPEN SPACE	MIN
PROPOSED COMMON OPEN SPACE	10.1

## PRIVATE OUTDOOR LIVING SPACE

REQUIRED ± 10% OF EACH UNIT

NO. OF UNITS FOR EACH UNIT TYPE	UNIT TYPE	LIVABLE AREA	PRIVATE REQUIREMENT
2	B1	1,200 SF	170 SF
2	B1.1	1,294 SF	179.4 SF
2	B2	1,240 SF	174 SF
1	B2.1	1,440 SF	194.4 SF

TOTAL LIVABLE AREA: 15.1  
REQUIRED PRIVATE OUTDOOR SPACE: 1.0  
PROPOSED PRIVATE OUTDOOR SPACE: 2.0

**SITE LEGEND:**

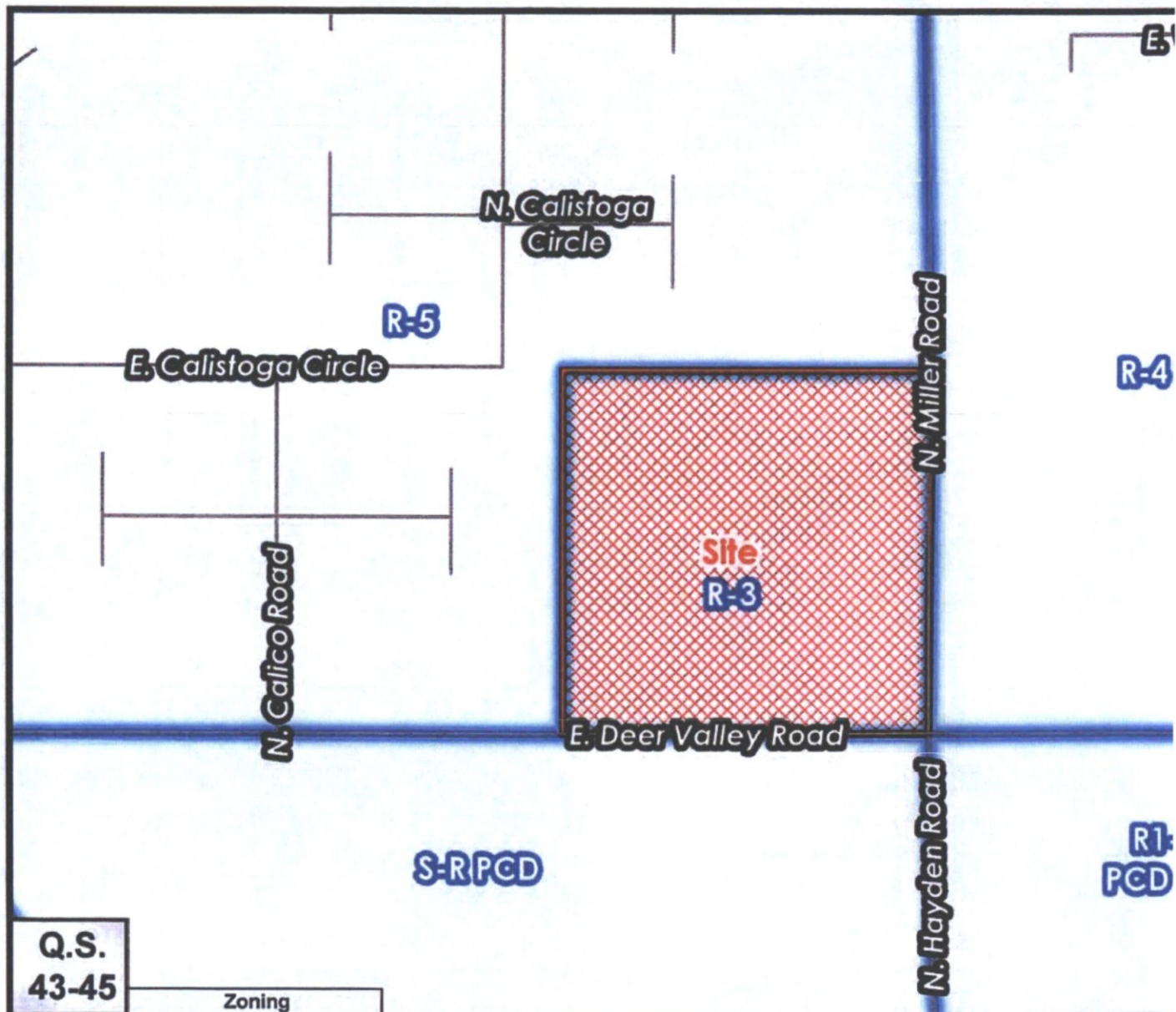
[Solid Grey Box]	BUILDING FOOTPRINT
[Diagonal Lines Box]	FRONTAGE OPEN SPACE
[Cross-hatch Box]	OPEN SPACE OTHER THAN FRG
[Horizontal Lines Box]	PRIVATE OPEN SPACE
[Dashed Line Box]	PARKING/DRIVEWAY

EXISTING TREE

**BOULDER SCHEDULE:**

- PLAN KEY NOTES:**

- 03
- 
- 03



## Deer Valley Townhomes

Ordinance No. 4396  
Exhibit 2  
Page 1 of 1

3-2

## **Deer Valley & Miller**

**21818 N Miller Road, Scottsdale, AZ 85255**

**February 8, 2019**

### ***Project Narrative:***

The subject property is located at the northwest corner N. Miller Road and E. Deer Valley Road and encompasses 1.6 gross acres and 1.0 net acres of land. The site is currently zoned as Planned Convenience Center (PCoC). The parcels adjacent to the property include single family houses to the north and west, North Miller Road to the east, and East Deer Valley Road to the south. It is requested that the proposed project be rezoned to Medium Density Residential (R-3) as Town Homes. This proposal is submitted for rezoning the site from PCoC to R-3.

The proposed development is three separate buildings with the north building consisting of 5 units, with the two south building each consisting of 2 units each. There are total 9 units in the proposed development.

The Site is developed with sensitivity to existing topography. Site planning is done keeping the natural terrain of the site and placing the buildings strategically and minimizing the disturbance.

The development is proposed for townhomes with a density of nine units per acre. Located at the corner of a minor arterial street and a minor collector street the site has access to many modes of transportation. The surrounding areas has been developed for well over 20 years, and there are no sensitive environmental conditions on or near the site.

There will be pedestrian connection from the street to each building as shown on Pedestrian and Vehicular Circulation Plan. The buildings are set back fifty feet from Deer Valley Road and created an open area in the front. These fifty feet is the Desert Landscape easement. Entry to the site is from the Deer Valley road, through this Desert Landscape easement, pavement in this area will be of colored concrete

## **Deer Valley & Miller**

**21818 N Miller Road, Scottsdale, AZ 85255**

**February 8, 2019**

to blend with the surrounding desert color. The refuse enclosure which is in this area, will have mesh trellis on the enclosure wall with vines growing on the trellis. See sheet A1.01 for two options for the trellis. The CMU wall will be also integral color block to match the building and surrounding desert color. The refuse enclosure is located at this location, so it is away from the single family residences. This location was determined after discussing with the City, see attached email and drawing with comments.

The is drainage easement on the east side is to remain and retaining wall is added for the sloped terrain. Site wall between the single family houses and the proposed development is existing.

The proposed development will have sidewalk connection to the existing Arizona Silverado subdivision on the northwest side. This connection will create, preserve and enhance pedestrian and bicycle connections and link between the neighborhood.

The perimeter of the site will be lined with landscaping. Landscaping is approached from an inviting environment perspective and will be integrated with the adjacent neighborhood landscape.

The front yard will have native vegetation to reduce water consumption and provide desert wildlife habitat.

The proposed development is a permitted Land Use per Table 5.703, no. 5. Dwelling units, and will have a density of 9 unites per acre. Common open space provided in the proposed site is 14,730 sq.ft. The proposed site has a drainage channel on the east and the fifty feet wide Desert landscape easement on the south giving open space to the site. Two parking space is required for each Townhomes. Private garage

## **Deer Valley & Miller**

**21818 N Miller Road, Scottsdale, AZ 85255**

**February 8, 2019**

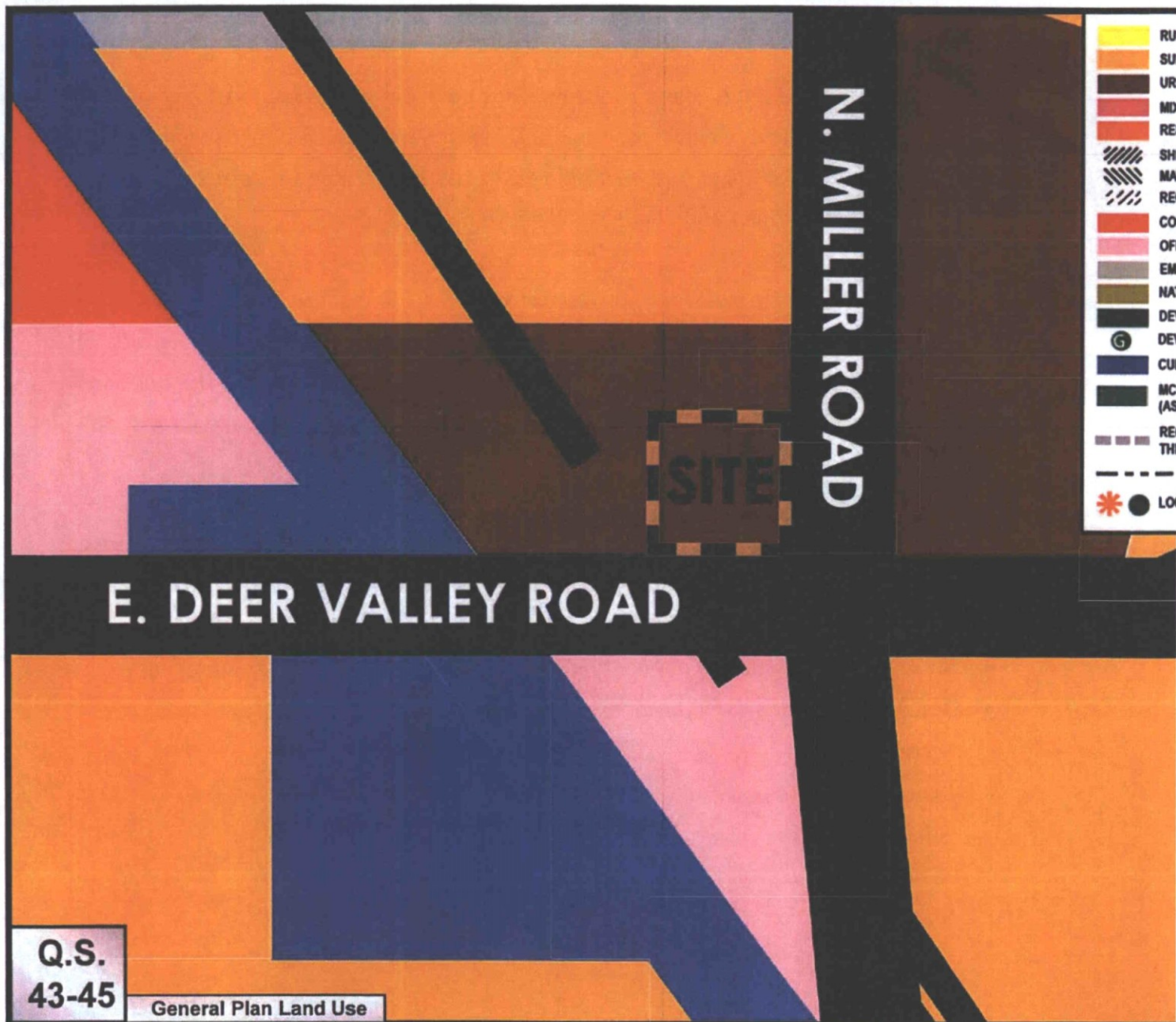
with two parking space for each unit, which is a total of eighteen space, is provided in the proposed project. There is one open parking space in the front, which is for accessible and guest parking. The open parking area will have colored concrete pavement so it blends with the surrounding in the desert easement area.

Materials, finishes and colors for the buildings have been selected to evoke a sense of welcoming and well-being. The building footprint allows landscaped areas adjacent to the building. The building design has light colored stucco with accents of darker wood tones and adobe blend mission style roofing.

The building on the north side is approximately 12,730 square feet and two stories with 5 residences. The two buildings on the south side have an approximate area of 4,686 square feet each, two stories and 2 residences in each of them. The buildings have three bedrooms with kitchen, living and powder room with two car garages. See Unit plans for different plan layout.

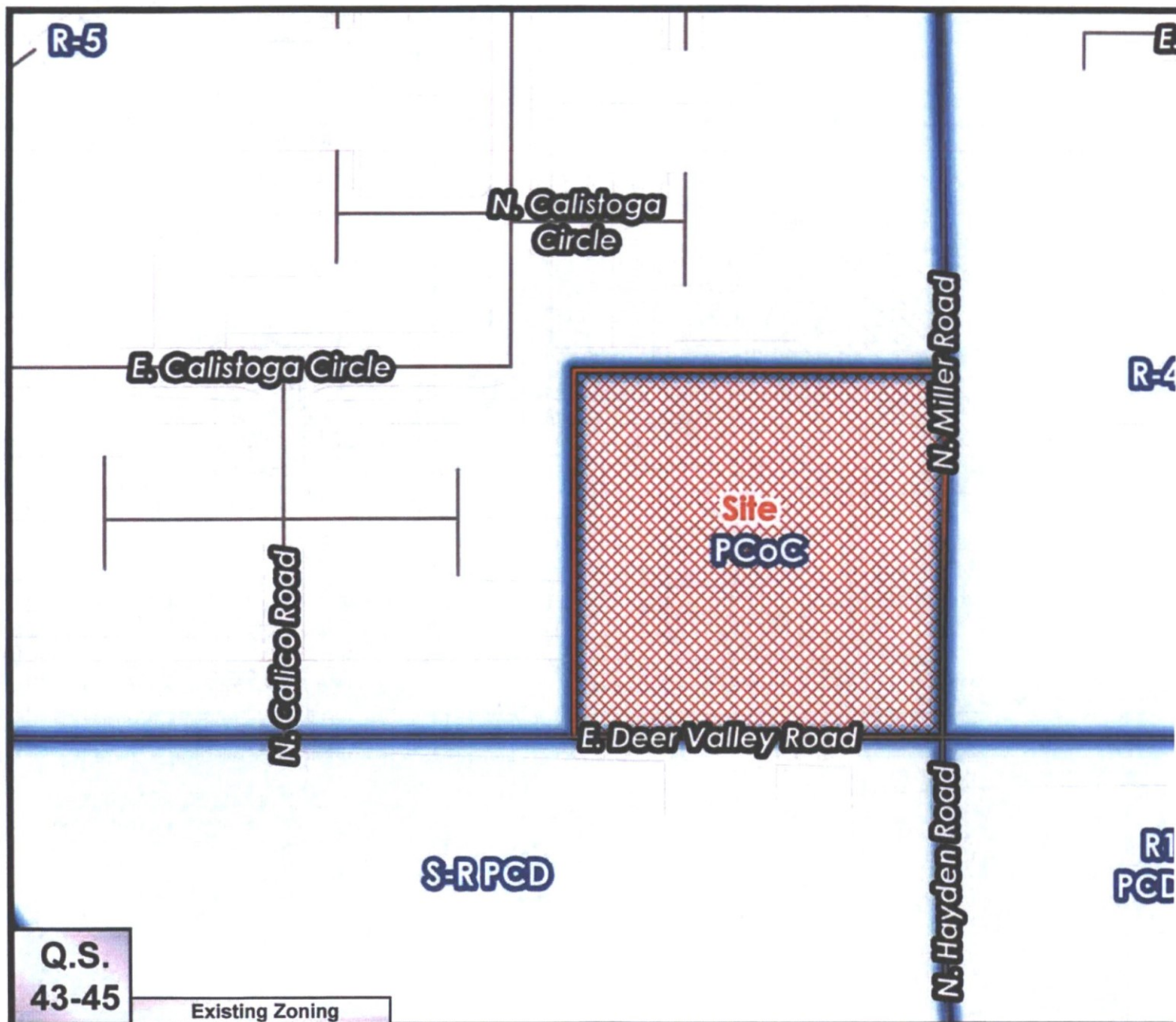
The exterior elevations show various elements in the building to create visual interest and richness. Stone veneer, pop outs, window shutters add variety to the elevations. Included in the palette of materials are:

- Stucco system (inclusive of pop-outs) with muted earth tone paint color options
- Detail accents, posts and railings
- Accent stone
- Concrete roof tiles

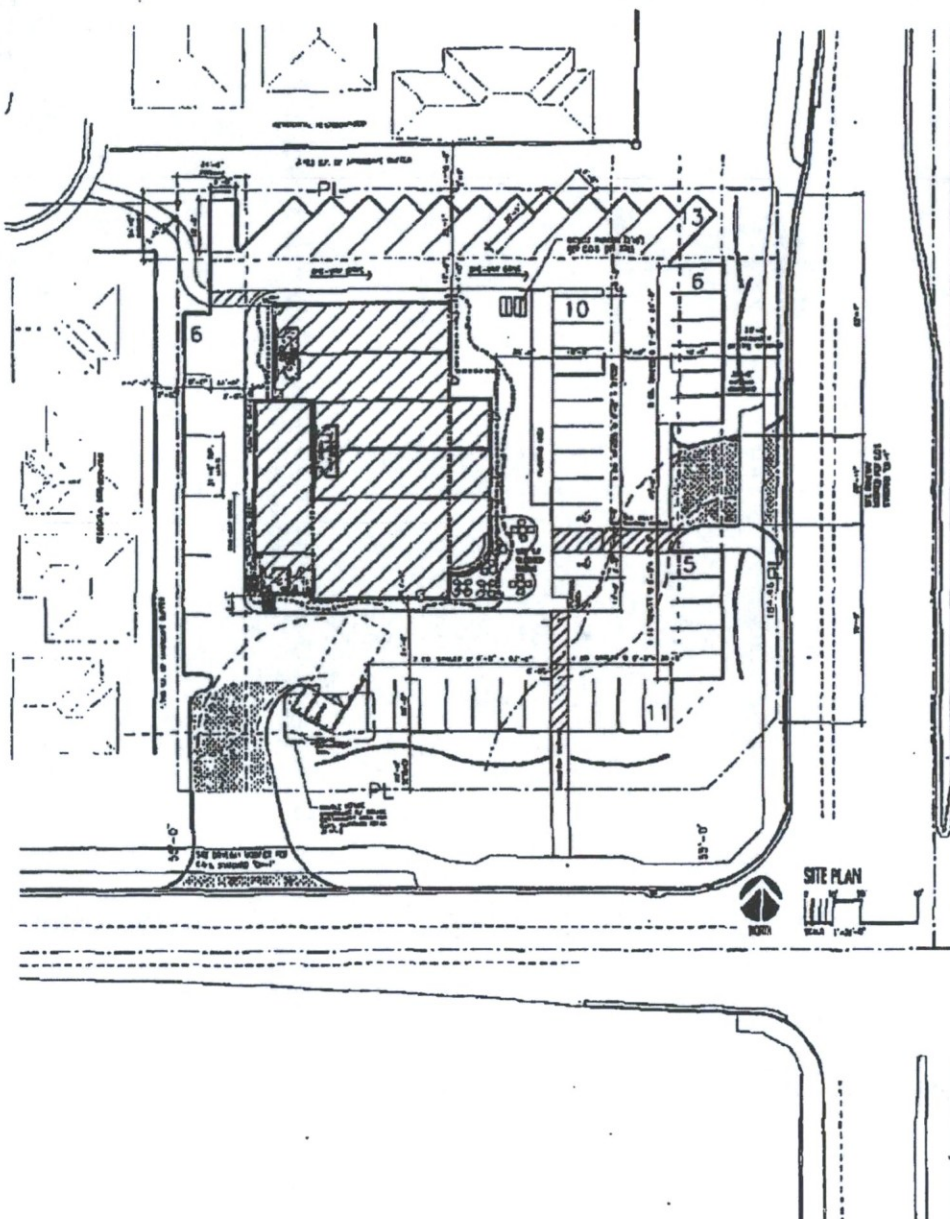


# Deer Valley Townhomes

ATTACHMENT #4



## Deer Valley Townhomes



# **PROJECT INFO**

OWNER INFO: Beardsley 22  
602-943-7775

PROPERTY ADDRESS: 21818 N. MILLER ROAD  
SCOTTSDALE, ARIZONA

CURRENT ZONING: P.C.-D.C  
PARCEL #: 212-02-D10E  
QUARTER SECTION: 43-45  
BUILDING HEIGHT: 23' TO TOP OF BUILDING  
BUILDING HEIGHT ALLOWED: 28'-0"

## **GROSS / NET LOT ACREAGE**

GROSS LOT SIZE: 69,959 SF./1.61 AC.  
NET LOT SIZE: 43,423 SF./.99 AC.  
FAR = LOT S.F. X 0.2 = 8,684 S.F.

VOLUME RATIO  
ALLOWED = 43,423  
PROPOSED COMMERCIAL

4,000 S.F. RETAIL  
2,630 S.F. GROCERY  
1,000 S.F. RESTAURANT  
7,630 S.F. TOTAL FLOOR

## **REQUIRED PARKING**

2,630 GROCERY = 1 PER 250 OR 11 SPACES  
1,000 RESTAURANT = 1 PER 80 OR 13 SPACES  
(4) 1,000 RETAIL SPACES OR 4,000 S.F. = 1 PER 300 OR  
600 S.F. OF OUTDOOR SPACE = 3 PARKING SPACE OR  
TOTAL REQUIRED = 41 SPACES  
ADA IS 4% OF REQ. PARKING OR 2 SPACES OF WHICH 1  
4 BICYCLE PARKING REQUIRED PER SECTION 9.103

## **SUPPLIED PARKING**

31 TOTAL  
4 BICYCLE PARKING PROVIDED

## **OPEN SPACE REQUIREMENT**

NET LOT SIZE: 43,423 SF./.99 AC.  
OPEN SPACE REQUIREMENT =  $43,423 \times 0.24 = 10,421$  S.F.  
OPEN SPACE REQUIREMENT =  $43,423 \times 0.004(16) = 2,77$   
OPEN SPACE REQUIREMENT = 13,200 S.F.  
OPEN SPACE PROVIDED = 13,645 S.F.

## **PARKING LOT LANDSCAPE REQUIREMENTS**

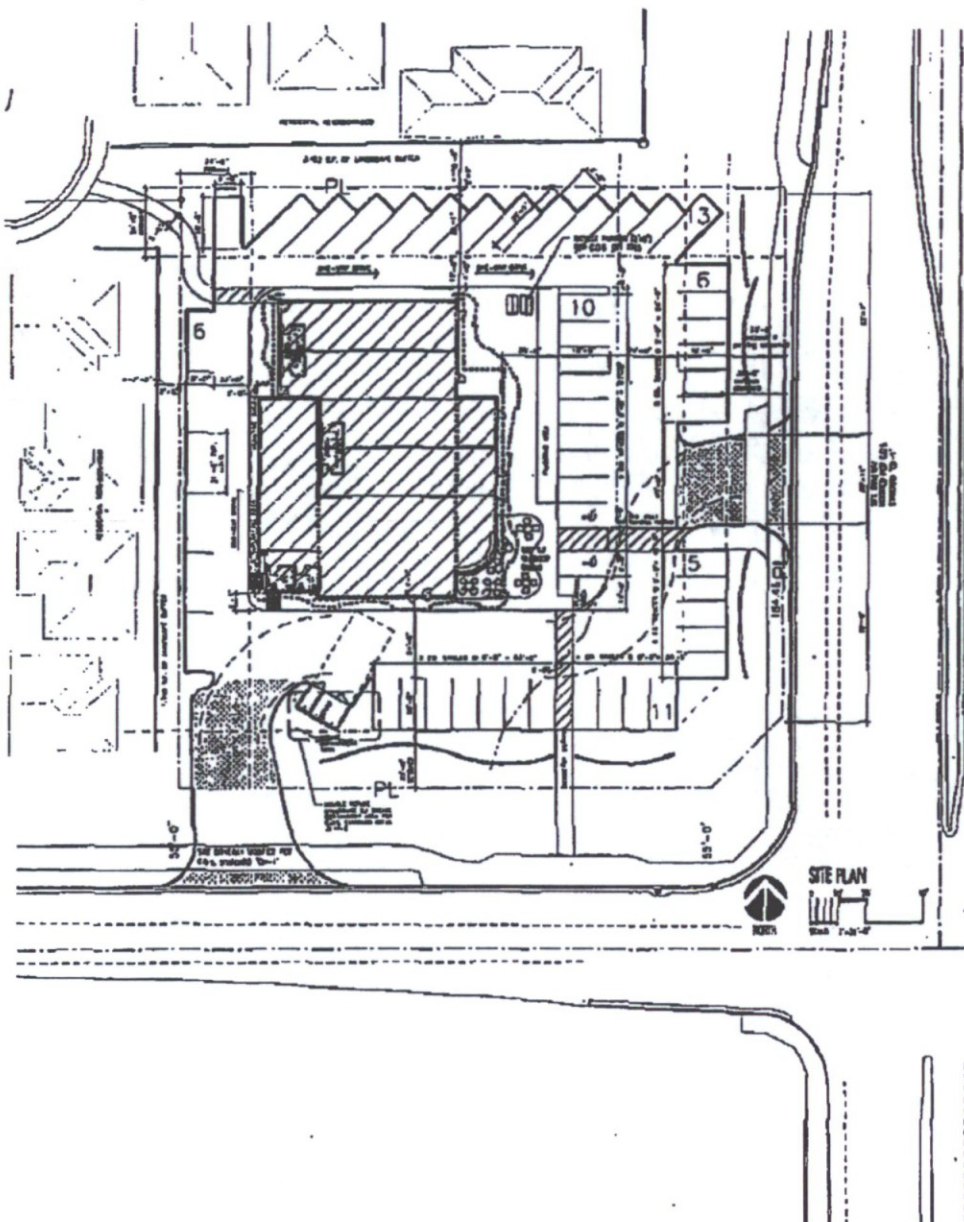
PARKING LOT (PAVING) AREA: 18,931 S.F.  
LANDSCAPE REQUIREMENT =  $21,462 \times 0.15 = 2,840$  S.F.

## **TOTAL LANDSCAPE REQUIREMENTS**

OPEN SPACE REQUIRED + PARKING LANDSCAPE REQUIREMENT  
 $13,200 + 2,840 = 16,040$  S.F.

## **TOTAL LANDSCAPE PROVIDED**

OPEN SPACE PROVIDED = 13,645 S.F.  
PARKING LANDSCAPE PROVIDED = 3,467 S.F.



#### PROJECT INFO

OWNER INFO: Beardsley 22  
602-943-7775

PROPERTY ADDRESS: 21818 N. MILLER ROAD  
SCOTTSDALE, ARIZONA

CURRENT ZONING: P.C.-D.C  
PARCEL #: 212-02-010E  
QUARTER SECTION: 43-45  
BUILDING HEIGHT: 23' TO TOP OF BUILDING  
BUILDING HEIGHT ALLOWED: 28'-0"

#### GROSS / NET LOT ACREAGE

GROSS LOT SIZE: 69,959 SF./1.61 AC.  
NET LOT SIZE: 43,423 SF./.99 AC.  
FAR = LOT S.F. X 0.2 = 8,684 S.F.

VOLUME RATIO  
ALLOWED = 43,423  
PROPOSED COMMERCIAL

4,000 S.F. RETAIL  
2,630 S.F. GROCERY  
1,000 S.F. RESTAURANT  
7,630 S.F. TOTAL FLOOR

#### REQUIRED PARKING

2,630 GROCERY = 1 PER 250 OR 11 SPACES  
1,000 RESTAURANT = 1 PER 80 OR 13 SPACES  
(4) 1,000 RETAIL SPACES OR 4,000 S.F. = 1 PER 300 OR  
600 S.F. OF OUTDOOR SPACE = 3 PARKING SPACE OR

TOTAL REQUIRED = 41 SPACES

ADA IS 4% OF REQ. PARKING OR 2 SPACES OF WHICH 1  
4 BICYCLE PARKING REQUIRED PER SECTION 9.103

#### SUPPLIED PARKING

51 TOTAL  
4 BICYCLE PARKING PROVIDED

#### OPEN SPACE REQUIREMENT

NET LOT SIZE: 43,423 SF./.99 AC.  
OPEN SPACE REQUIREMENT =  $43,423 \times 0.24 = 10,421$  S.F.  
OPEN SPACE REQUIREMENT =  $43,423 \times 0.004(16) = 2,771$  S.F.  
OPEN SPACE REQUIREMENT = 13,200 S.F.  
OPEN SPACE PROVIDED = 13,645 S.F.

#### PARKING LOT LANDSCAPE REQUIREMENTS

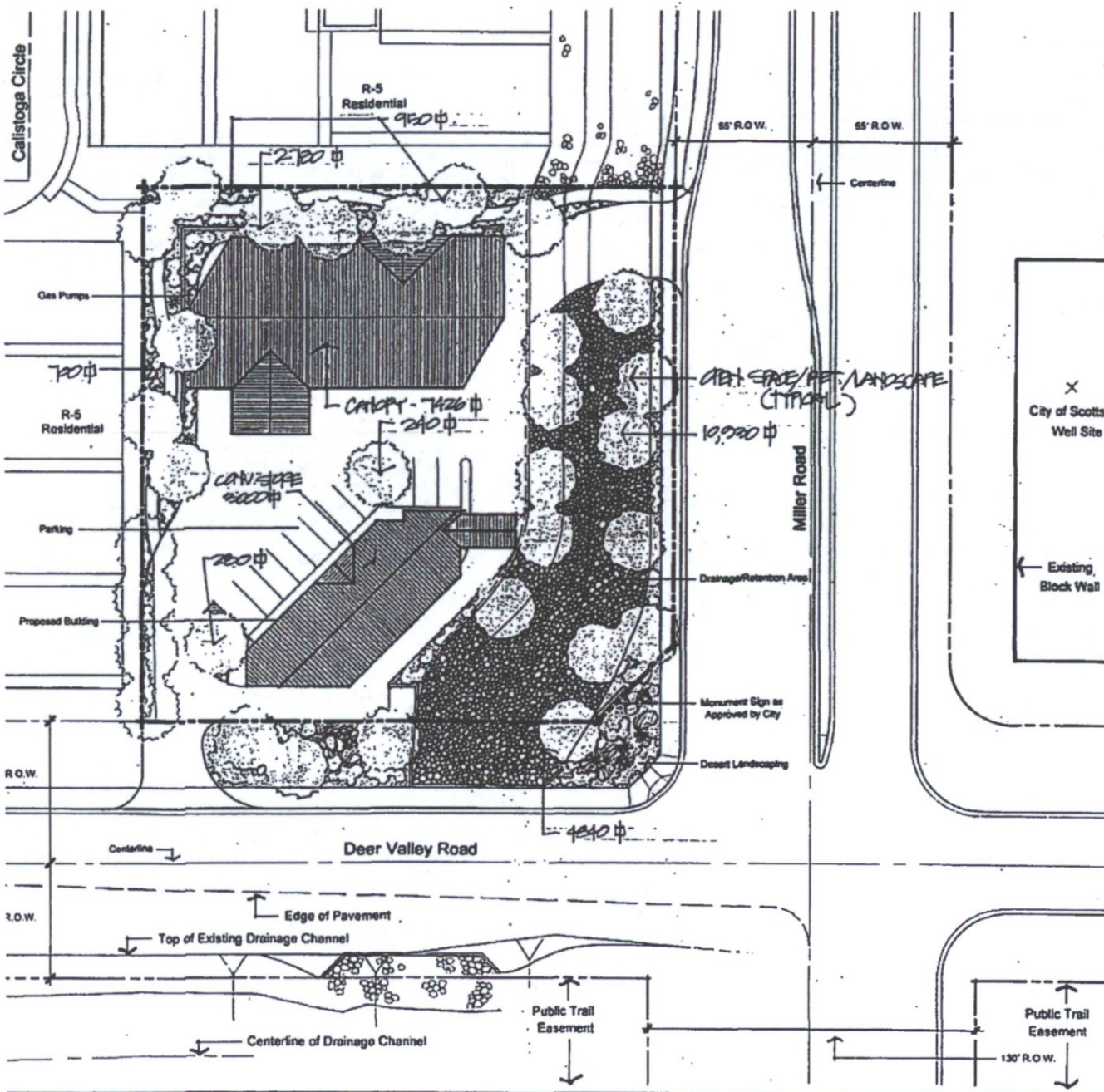
PARKING LOT (PAVING) AREA: 18,931 S.F.  
LANDSCAPE REQUIREMENT =  $21,462 \times 0.15 = 2,840$  S.F.

#### TOTAL LANDSCAPE REQUIREMENTS

OPEN SPACE REQUIRED + PARKING LANDSCAPE REQUIREMENT  
 $13,200 + 2,840 = 16,040$  S.F.

#### TOTAL LANDSCAPE PROVIDED

OPEN SPACE PROVIDED = 13,645 S.F.  
PARKING LANDSCAPE PROVIDED = 3,467 S.F.



# Conceptual Site Plan for Miller & C

Illustrative Site

## SITE PLAN

GROSS LOT AREA  
NET LOT AREA:  
FLOOR AREA:

CANV. &  
CANOPY:  
OPEN SPACE/LAND

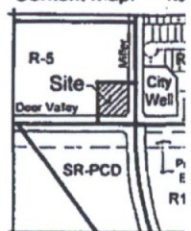
INTERIOR  
LANDSCAPE  
R.O.W. &  
LANDSCAPE

X  
City of Scottsdale  
Well Site

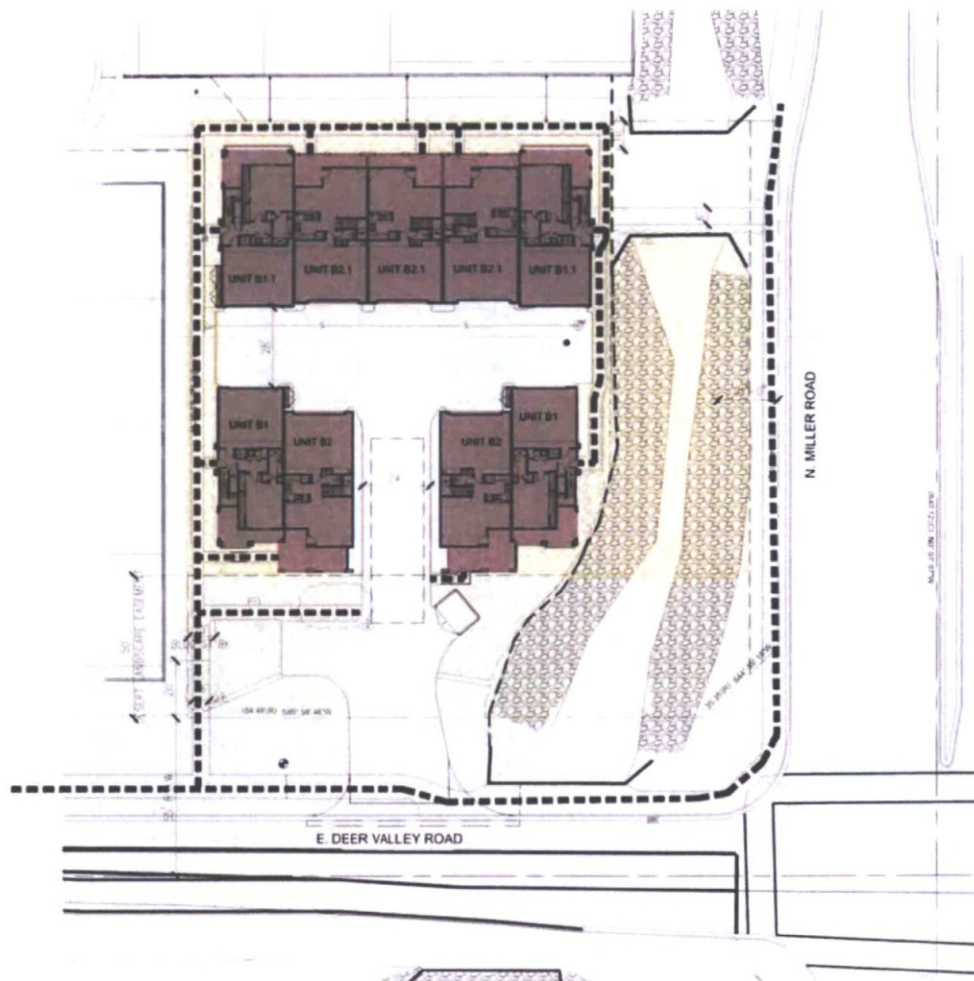
Existing  
Block Wall

Pre

Context Map: No



# ATTACHMENT 9



OPEN SPACE PLAN

## SITE DATA

**ZONING:**  
EXISTING: PLANNED CONFORMANCE C-2 (C-1) M  
PROPOSED: MEDIUM DENSITY RESIDENTIAL

**SITE AREA:**  
NET 43,987 SF 1.0 ACRES

**BUILDING AREA:**  
1,570 SF 0.04 ACRES

**SITE COVERAGE:**  
25,312 SF 0.58 ACRES

**BUILDING HEIGHT:**  
PROPOSED: 1 - 2 STORIES 20' 0" TO 30' 0" TYP

## OPEN SPACE CALCULATIONS

REQUIRED OPEN SPACES	
REQUIRED MINIMUM OPEN SPACE	NET 1,433
REQUIRED FRONTAGE OPEN SPACE	NET 1,433
REQUIRED FRONTAGE OPEN SPACE	7.6%
REQUIRED COMMON OPEN SPACE	80%
PROVIDED COMMON OPEN SPACE	10.1%

## OTHER OUTDOOR LIVING SPACE

REQUIRED: 10% OF EACH UNIT

NO. OF UNITS FOR EACH UNIT TYPE	UNIT TYPE	UNITS AREA	PROVIDED
1	B1	1,704 SF	170 SF
2	B1.1	1,704 SF	170 SF
2	B2	1,704 SF	170 SF
1	B2.1	1,704 SF	170 SF

TOTAL UNITS AREA 1,704  
REQUIRED PRIVATE OUTDOOR SPACE 1,704  
PROVIDED PRIVATE OUTDOOR SPACE 1,704

## BEL LEGEND

- BUILDING FOOTPRINT
- FRONTAGE OPEN SPACE
- OPEN SPACE OTHER THAN FRONT
- PRIVATE OPEN SPACE
- PARKING/DRIVEWAY

# PLANT SCHEDULE:

EXISTING TREE	SALVAGED ROOT ON SITE	6 TOTAL
EXISTING TREE	TO REMAIN SEE PLAN FOR TYPE	10 TOTAL
CERCOUR FLORIDUM BLUE PAID VIBES	36" BOX MULTI-TRUNK	3 TOTAL
PHYSCOLOBUM FLENGALLE TEXAS BERRY	24" BOX	6 TOTAL
CASUALPINA GILBERTII YELLOW BIRD OF PARADISE	5 GALLON TREE FORM	6 TOTAL
CARINIANA GIGANTEA SAGUARO	SPREAD W/ PER PLAN	5 TOTAL
CASUALPINA PULCHERRIMA RED BIRD OF PARADISE	5 GALLON PAL. PEST CAN	3 TOTAL
RUSSIA PENNELLARIS SILVER RUELIA	5 GALLON PAL. PEST CAN	25 TOTAL
LEUCOPHYLLUM LINDSEYANAE RED BRAVO BASS	5 GALLON PAL. PEST CAN	13 TOTAL
LEUCOPHYLLUM SPECIOSUM CHIMANAN BASS	5 GALLON PAL. PEST CAN	16 TOTAL
SAULIA GIBBERA AUTUMN BASS	5 GALLON PAL. PEST CAN	4 TOTAL
TECOPA X SPARGANGETTE HYBRID JASMINE	5 GALLON PAL. PEST CAN	5 TOTAL
GRANTIA PHAEOCANTHA PROLETARY PEAR	5 GALLON PAL. PEST CAN	0 TOTAL
ENCLOSIA PARNOSA BATTLE BUSH	5 GALLON PAL. PEST CAN	6 TOTAL
LARREA TRIDENTATA CREOSOTE	5 GALLON PAL. PEST CAN	4 TOTAL
DAURYLION LAMBLERI DESERT SPOON	5 GALLON PAL. PEST CAN	3 TOTAL
HEPERALDE PARVIFLORA RED YUCCA	5 GALLON PAL. PEST CAN	10 TOTAL
CHRYSACTINA PENSILVANA DORIAN'S DASH	1 GALLON PAL. PEST CAN	15 TOTAL
APEROSIA DELTOIDES TREMBLE LEAF SAGE	5 GALLON PAL. PEST CAN	14 TOTAL
CALANDRIA BERTHILLIA ALBY DUMET	5 GALLON PAL. PEST CAN	3 TOTAL
DODONAEA VISCOSA 'GREEN' GREEN HOPBRED BUSH	5 GALLON PAL. PEST CAN	7 TOTAL
LANTANA 'MONTICLOSUS' 'P' TRELLIS PURPLE LANTANA	1 GALLON PAL. PEST CAN	16 TOTAL
ROSA BANKHANA 'ALBA PLENA' WHITE LADY ROSE	5 GALLON STAGED	3 TOTAL
DISCOMPOSED GRANITE 3/4" PINK THUNDER GOLD		10 1500 SF
NATIVE VEGETATION TO REMAIN		
EXISTING RIVER RAIL STONE TO REMAIN 1'-2' ANGULAR STONE		

## BOULDER SCHEDULE:

- 1 4'x12' DEEP SELECT GRADE GRANITE SURFACE BOULDER (BURY 2')
- 2 3'x12' DEEP SELECT GRADE GRANITE SURFACE BOULDER (BURY 2')
- 3 2'x12' DEEP SELECT GRADE GRANITE SURFACE BOULDER (BURY 6')

## PLAN KEY NOTES:

- 1 RELOCATED FIRE HYDRANT
- 2 FLOOD CONTROL BARRIERS
- 3 SIGHT DISTANCE LINE
- 4 EXISTING 8" BLOCK WALL TO REMAIN
- 5 EXISTING DRAINAGE PIPES
- 6 EXISTING CONCRETE HEADWALL
- 7 4" WIDE DRAINAGE SHALE LINED W/ 4" DIA ROCK PER CIVIL DUGS
- 8 RETAINING WALL PER CIVIL DUGS
- 9 DRAINAGE PIPE PER CIVIL DUGS
- 10 UNDERGROUND STORAGE PIPE PER CIVIL DUGS
- 11 BICE LOOPS
- 12 INTEGRAL COLOR CONCRETE PAVEMENT



Preliminary  
Landscape P  
Scale 1/8" = 1'-4"  
GRAPHIC SCALE

# PRELIMINARY GRADING AND DRAINAGE PLAN FOR: **DEER VALLEY TOWNHOMES** N MILLER ROAD & E DEER VALLEY ROAD SCOTTSDALE, ARIZONA

A PORTION OF THE SOUTHWEST QUARTER OF SECTION 16, TOWNSHIP 4 NORTH, RANGE 4 EAST OF THE  
 GUA AND SALT RIVER BASIN AND WERUVAL, MARICOPA COUNTY, ARIZONA



Flow	
Q - CDA**	3.17 (1.00 cfs)
Q - 1/4" x 6" x 6" x 6"	1.00 (1.00 cfs)
Q - 1/4" x 6" x 6" x 6"	1.00 (1.00 cfs)
Q - 1/4" x 6" x 6" x 6"	1.00 (1.00 cfs)
First Flush Volume	
V - CDA**	1.00 (1.00 cfs)
V - 1/4" x 6" x 6" x 6"	1.00 (1.00 cfs)
V - 1/4" x 6" x 6" x 6"	1.00 (1.00 cfs)
V - 1/4" x 6" x 6" x 6"	1.00 (1.00 cfs)

**OWNER / DEVELOPER**  
 BEARDSLEY 22, INC.  
 222 W. LINCOLN ST. PHOENIX, AZ 85027  
 CONTACT: SCOTT BARD  
 PHONE: (602) 998-4330  
 EMAIL: AWARDS@BEARDSLEY22.COM

**ARCHITECT**  
 WHITEWELL PERRY, INC.  
 675 AL CARMICHAEL BLVD. SUITE 125  
 CHANDLER, ARIZONA 85224  
 CONTACT: TERESA HILL  
 PHONE: (480) 857-4544  
 EMAIL: TERESA@WHITEWELLPERRY.COM

**CIVIL ENGINEER**  
 TERRASCAPE CONSULTING  
 1100 EAST MISSOURI AVENUE  
 PHOENIX, ARIZONA 85016  
 CONTACT: USA NELSON P.E.  
 PHONE: (480) 434-1807  
 FAX: (480) 238-2488  
 EMAIL: NELSON@TERRASCAPE.US

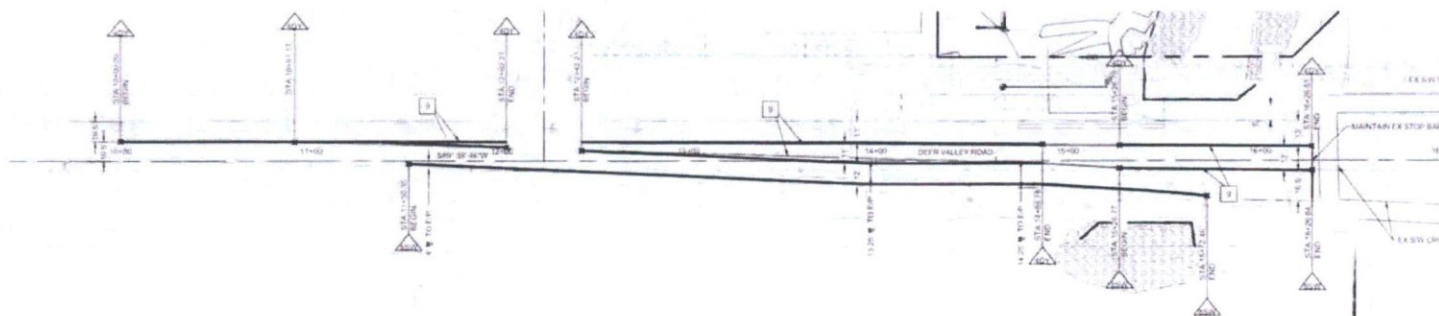
LEGEND	
---	BOUNDARY
---	EX. PROPERTY LINE
---	SEWER
---	EASEMENT
---	STORM DRAIN
---	SANITARY SEWER LINE
---	PLUMBING WATERLINE
---	WIRELINE
---	DRY WIRELINE
---	STORM DRAIN RETENTION TANK
---	GRADE BREAK LINE
---	CROSSING SEWER

ABBREVIATIONS	
BLDG	BUILDING
C	CONCRETE
CLB	CURB AND GUTTER
CO	CLEAN OUT
CM	CORRUGATED METAL PIPE
GR	GRAVEL
EL	ELEVATION
EX	EASEMENT
EX	EXISTING
FT	FINISHED FLOOR ELEVATION
FT	FINISHED GRADE AT EXIST. OR
FL	FLOORLINE
GR	GRAVEL
GR	GRAVEL
HP	HIGH POINT
INS	INSULATION

PAVING, GRADING AND DRAIN:	
1	GRADE TO DRAIN
2	GRADE 4" WIDE DRAINAGE DRAIN TO
3	7" WIDE CURB OPENING
4	RETAINING WALL WITH SAFETY RAILING, EXTEND BEHIND TOP OF RAIL ALONG EX. CHANGING
5	EXISTING SYSTEM WALL, REFER TO AN
6	CONCRETE TO REMAIN
7	INSTALL 1/2" CONCRETE PER 10' x 5'
8	REMOVE 4" C.C.P. ROADWAY TO LIMITS
9	RECONSTRUCT PAVEMENT MARKINGS
10	MATCH EXISTING
11	2" DEEP ASPHALT 10' x 10' TO BE IN
12	REMOVE 2" DEEP ASPHALT AND DISPOSE
13	CONCRETE JOINT EXACT LIMITS 1' MINIMUM CONCRETE TO REMAIN
14	INSTALL 1/2" CONCRETE PER 10' x 5'
15	LOCAL UTILITY ALLET OVERFLOW POINT

ATTACHMENT 11

03-ZN-2017  
 03/27/2019



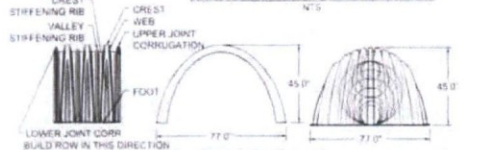
#### LEGEND

- 1" SOLID WHITE LINE
- 1" DOUBLE YELLOW LINE

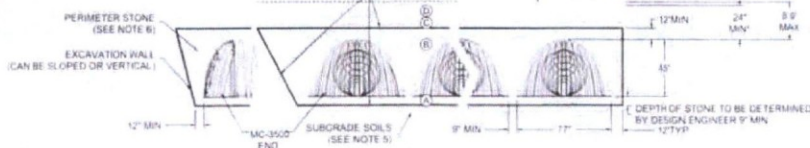
#### PAVING, GRADING AND DRAINAGE NO

- 1 GRADE TO CHAIN
- 2 GRADE 4" WIDE DRAINAGE DRAIN TO CHAIN
- 3 2" WIDE CURB OPENING
- 4 RETAINING WALL WITH SAFETY RAIL (WALL SHALL EXTEND BELOW TOP OF BANK CURB ALLOWING CHAIN)
- 5 EXPOSED STEM WALL REFER TO NOTE 10
- 6 MIN. 2" SANDST. AND REMOVE EX. A.C.C.F. CONCRETE TO REMAIN
- 7 DRIVEWAY PER C.O.S. STD. QTY. (200' MIN.)
- 8 WIDE N.E.C.P. ROADWAY TO L.A.P.S. (MIN.)
- 9 UNALTERED PAVEMENT (MINIMUM)
- 10 MATCH ENDING
- 11 2" DEEP H.E. MAP DIV. 1" TO BE INSTALLED

#### MC-3500 TECHNICAL SPECIFICATION



ADD GEOSYNTHETICS 6011 NON-WOVEN  
GEOTEXTILE ALL AROUND CLEAN  
CRUSHED ANGLULAR STONE IN A & B  
LAYERS



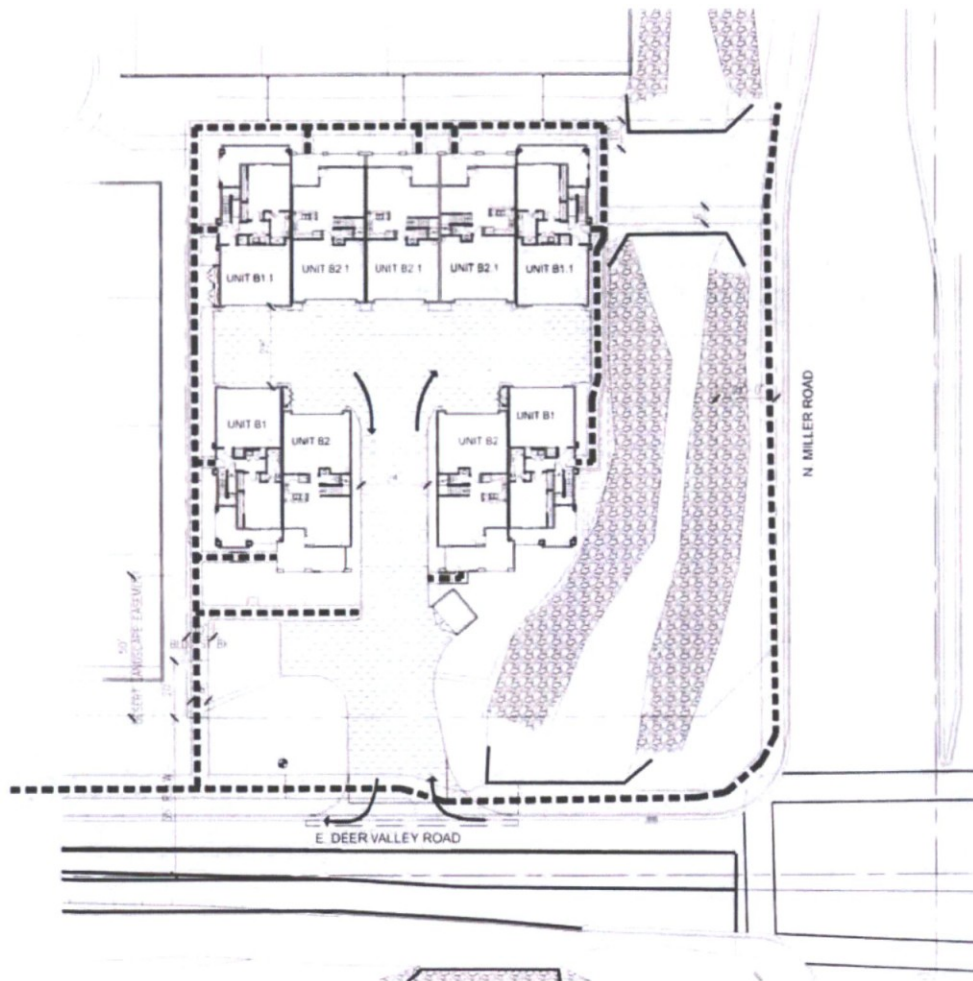
#### NOTES:

- 1 MC-3500 CHAMBERS SHALL CONFORM TO THE REQUIREMENTS OF ASTM F2418 'STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS'
- 2 MC-3500 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 'STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS'
- 3 'ACCEPTABLE FILL MATERIALS' TABLE ABOVE PROVIDES MATERIAL LOCATIONS, DESCRIPTIONS, GRADATIONS, AND COMPACTION REQUIREMENTS FOR FOUNDATION, EMBEDEMMENT, AND FILL MATERIALS
- 4 THE 'SITE DESIGN ENGINEER' REFERS TO THE ENGINEER RESPONSIBLE FOR THE DESIGN AND LAYOUT OF THE STORMTECH CHAMBERS FOR THIS PROJECT
- 5 THE 'SITE DESIGN ENGINEER' IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS
- 6 PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS
- 7 ONCE LAYER 'C' IS PLACED, ANY SOIL MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBGRADE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION

Volume Provided			
Number of chambers	6	Volume Per Chamber	130 cf
Number of End Caps	2	Volume Per End Cap	10 cf
Area	400 sf	Excavation Length	50 ft
Perimeter	121 ft	Excavation Width	8 ft
Stone above	12 ft	Excavation Depth (including cover)	5 ft
Stone below	8 ft		
Volume of stone	402 cu		
Length of excavated Row	47 ft		
Volume in chamber	# of Chambers * 130.9		785.4
Volume in End Caps	# of caps * 10.5		21.0
Volume of excavation	L * W * D		2002.0
Amount of stone	stone volume		1750.0
Volume in stone	stone volume		1750.0
Subgrade in stone	2 * Area * Perimeter * 1/2 * Cover		1802.0
Volume provided	Volume * 1.05		1821.0

NOTE: TOTAL LENGTH OF STORAGE TANKS -  
CHAMBERS PLUS END CAPS - EACH  
CHAMBERS IS 17'0" IN LENGTH AND EACH  
END CAP IS 1'0" IN LENGTH

# ATTACHMENT 12



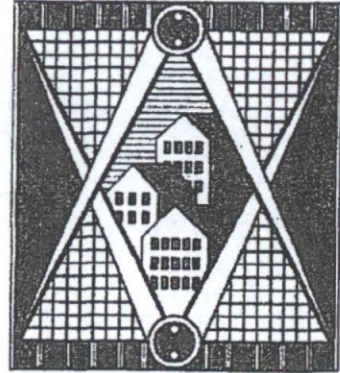
**PARKING:**

EXISTING	REQUIRED PARKING PER EACH
REQUIREMENTS	FUNCTION
	INCLUDED EACH FUNCTION
	REQUIREMENTS IN PRIVATE
EXISTING	REQUIREMENTS
REQUIREMENTS	

PARKING PLAN

**WHITNEYBELL PERRY INC**  
**ARCHITECTURE & PLANNING**  
575 W. Chandler Blvd Suite 123 •  
Chandler, AZ 85225

**WHITNEYBELL PERRY INC**  
**ARCHITECTURE & PLANNING**



**PHOENIX • CHANDLER**

**Case number: 3-ZN-2017 Deer Valley Townhomes**

### **Neighborhood Meeting Review Report**

Neighborhood meeting notification was sent out to the Interested Parties on October 16<sup>th</sup>, 2018.  
A site plan, exterior elevations and an aerial plan showing the location of the proposed site was part of the package with the notification letter.

Attached are:

- Notification letter sent out to contact neighbors;
- A map showing the location of neighbors attended the meeting;
- List of names, and addresses of interested parties;
- The meeting sign-in sheet;
- The complete affidavit of sign posting.

A written summary of the neighborhood meeting is also attached to the report.

## Masuda Yasmin

---

**From:** Vaishali Carpenter  
**Sent:** Wednesday, October 17, 2018 11:18 AM  
**To:** JMurillo@ScottsdaleAz.Gov  
**Cc:** Castro, Lorraine; warddevelopment@yahoo.com; Zachary Pebler; Mike Perry; Teresa Hill; Masuda Yasmin  
**Subject:** Deer Valley Town Homes\_ Neighborhood Meeting  
**Attachments:** Mailing Labels.pdf; neighborhood packet.pdf

Dear Mr. Murillo,

Please find attached the notification letter with exhibits mailed out yesterday to the recipient's whose names and addresses were provided by City of Scottsdale. The sign posting affidavit will be sent directly to City of Scottsdale by Sign-A-Rama.

Please let me know if you have any questions.



Vaishali Carpenter, Intl. Assoc. AIA ARBUK  
Operations Administrator  
**WHITNEYBELL PERRY INC**  
ARCHITECTURE & PLANNING

1102 E. Missouri Ave • Phoenix, AZ 85014  
575 W. Chandler Blvd Suite 123 • Chandler, AZ 85225  
phone 602-265-1891 x107 [www.whitneybellperry.com](http://www.whitneybellperry.com)  
fax 602-230-8458 Phoenix • fax 480-821-0148 Chandler

**WHITNEYBELL PERRY INC**  
**ARCHITECTURE & PLANNING**  
575 W. Chandler Blvd Suite 123 •  
Chandler, AZ 85225

October 16, 2018

## **Neighborhood Meeting Notification.**

Case number: 3-ZN-2017 Deer Valley Townhomes

Dear Area Neighbor,

We invite you to a neighborhood meeting to learn more about the Town Home project proposed at the Northwest corner of Miller Road and Deer Valley. The existing 1-acre site will be developed into 9 townhome units.

The meeting will be held at the below listed time and place. Discussions at the meeting will include an overview of the proposed development, the architectural character, and address questions you may have.

The neighborhood meeting will be held:

Monday, October 29, 2018  
6:00 pm – 7:00 pm  
Rooms: 1 and 2

Appaloosa Library,  
7377 E. Silverstone Drive  
Scottsdale, AZ 85255  
480-312-7323

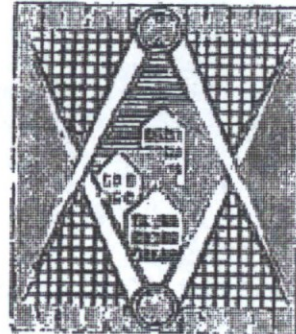
Sincerely,



Mike Perry AIA, NCARB, LEED AP  
Principal.  
Phone 602-265-1891 • direct line 480-963-2911  
Email: [mike@whitneybellperry.com](mailto:mike@whitneybellperry.com)

cc: City of Scottsdale Planning Department.

**WHITNEYBELL PERRY INC**  
**ARCHITECTURE & PLANNING**



**PHOENIX • CHANDLER**

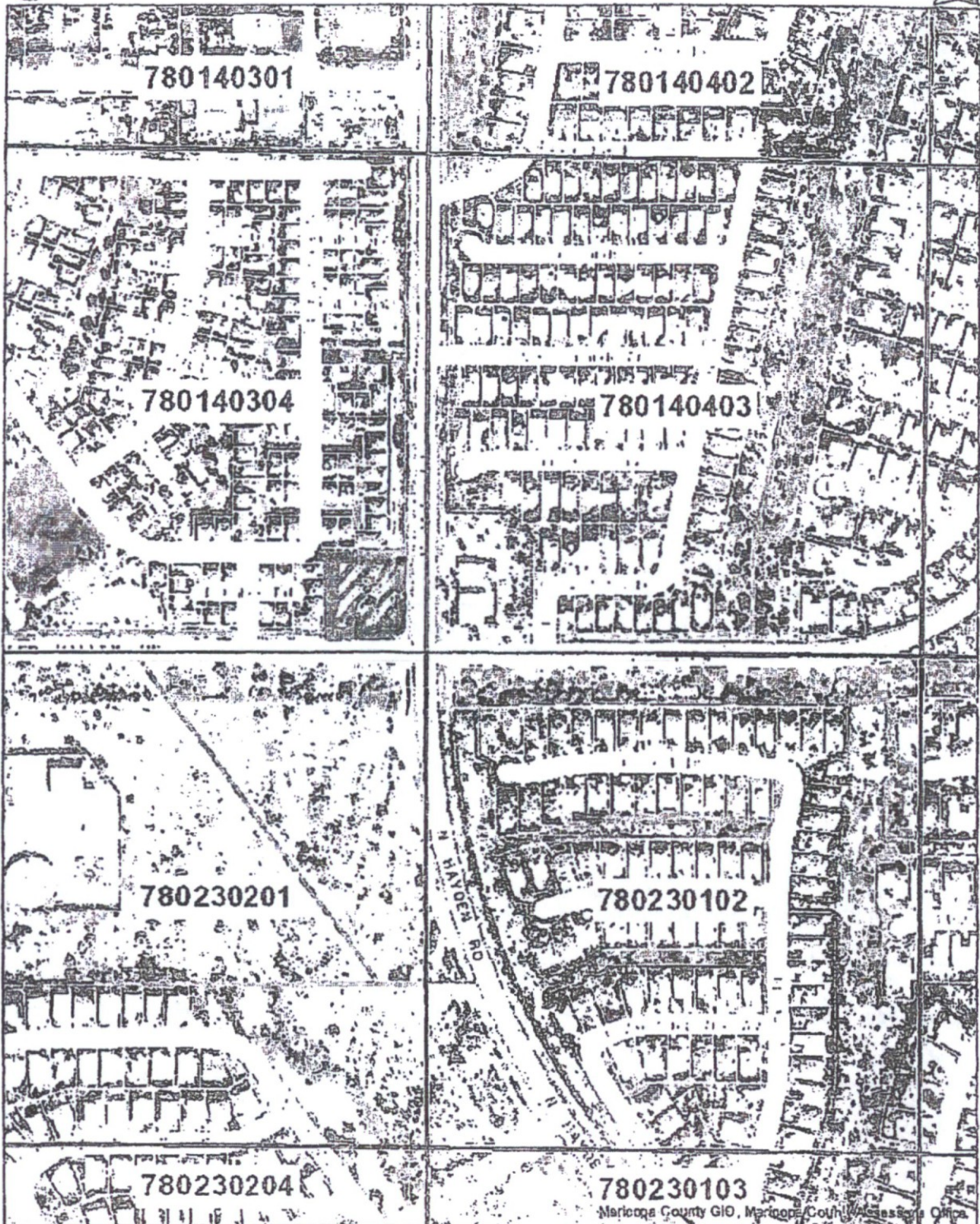


DATE		AGE
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95.	DOUGLAS	19
96.	DOUGLAS	19
97.	DOUGLAS	19
98.	DOUGLAS	19
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100.	DOUGLAS	19





# Map





# Affidavit of Posting

Required: Signed, Notarized originals.

Recommended: E-mail copy to your project coordinator.

☐ Project Under Consideration Sign (White)

☐ Public Hearing Notice Sign (Red)

Case Number:

3-ZN-2017

Project Name:

3-ZN-2017 Deer Valley Townhomes White sign

Location:

NW Corner of Miller Rd & Deer Valley

Site Posting Date:

10/18/2018

Applicant Name:

Mike Perry

Sign Company Name:

Scottsdale Signarama

Phone Number:

4809944000

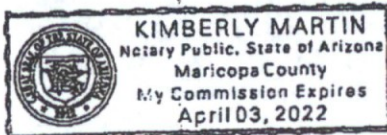
I confirm that the site has been posted as indicated by the Project Manager for the case as listed above.

Mike Perry  
Applicant Signature

10/19/18  
Date

Return completed original notarized affidavit AND pictures to the Current Planning Office no later than 14 days after your application submittal.

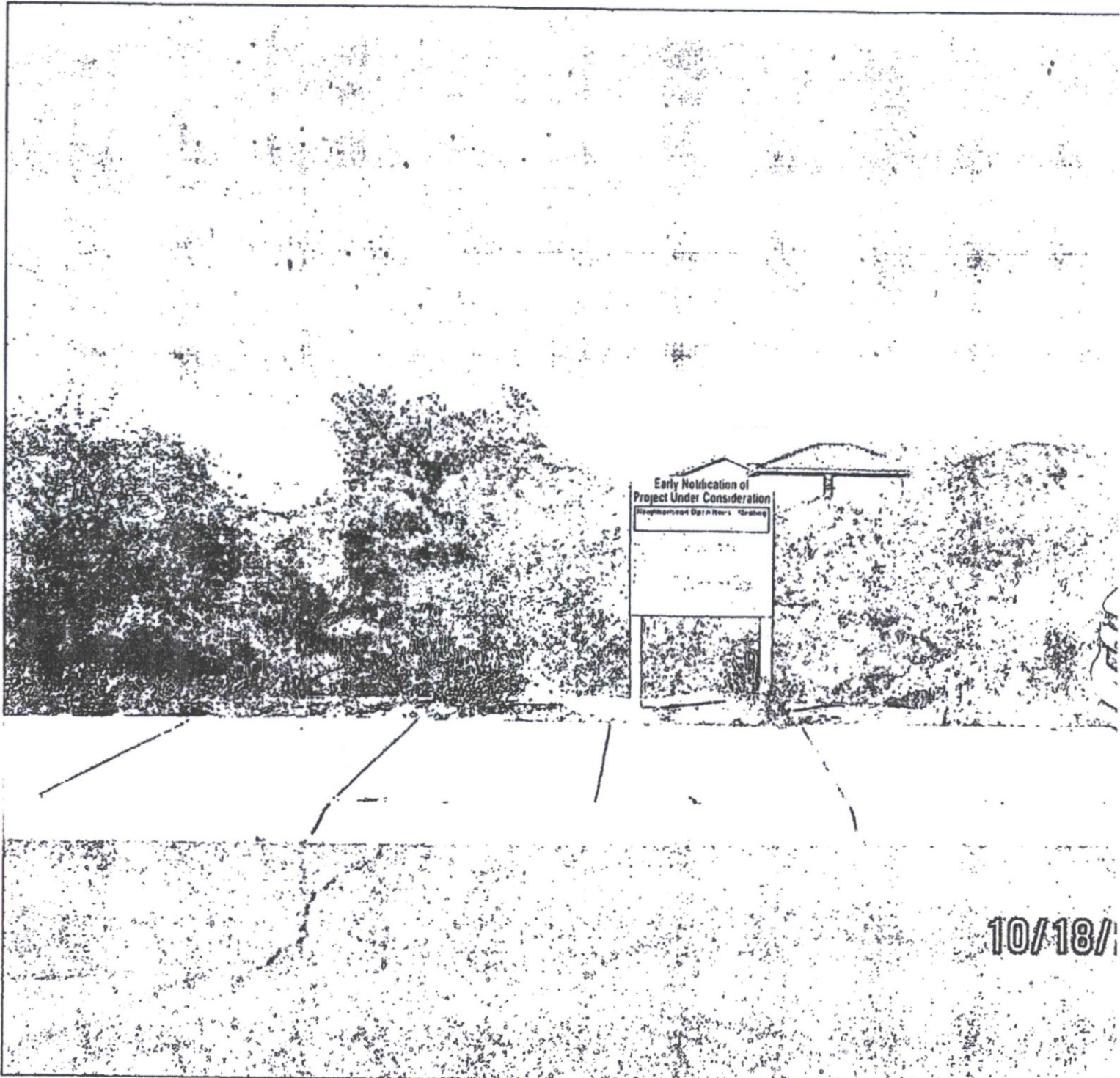
Acknowledged before me this the 19th day of October 2018



Kimberly Martin  
Notary Public  
My commission expires: 4/3/22

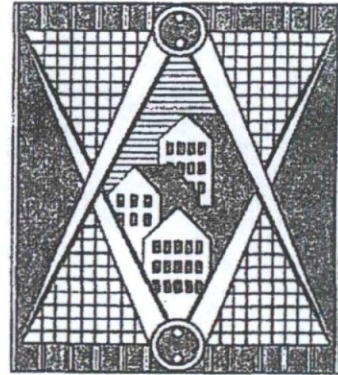
**City of Scottsdale -- Current Planning Division**

7447 E Indian School Road, Suite 105, Scottsdale, AZ 85251 • Phone: 480-312-7000 • Fax: 480-312-7088



**WHITNEYBELL PERRY INC**  
**ARCHITECTURE & PLANNING**  
575 W. Chandler Blvd Suite 123 •  
Chandler, AZ 85225

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**ARCHITECTURE & PLANNING**



**PHOENIX ■ CHANDLER**

October 29, 2018

**Neighborhood Meeting Notes**  
**Case number: 3-ZN-2017 Deer Valley Townhomes**

Meeting was held at Appaloosa Library on October 29<sup>th</sup>, 2018 at 6:00 pm

The Meeting was held in Open House format. Color Site plan with aerial, building plans, unit plans, color exterior elevations, landscape plan, grading and drainage plan were displayed. An overall information on the project was presented by the architect to the neighbors.

Neighbors' concerns discussed at the meeting:

1. Concerns about traffic along Hayden/Miller.  
Response – Intersection of Deer Valley and Miller is upgraded.
2. Neighbors along the north property line are concerned about residents looking into their backyards from the second-floor balconies.  
Response – Deer Valley Townhomes(DVT) will be reaching out to Silverado HOA about planting extra tree within their landscape tract.
3. Concerns about the maintenance of the drainage channel along Miller  
Response – DVT will contact the City of Scottsdale on this issue
4. Neighbors are concerned about the amount of guest parking DTV is providing for guests.  
Response – Guest visiting Deer Valley Townhomes can parking in front of the garage. Also, DVT will look into scope of providing guest parking in addition to the one already provided.
5. Concern about the northwest sidewalk connection to the neighborhood, neighbors would appreciate not encouraging DVT residents to come into their neighborhood to use their amenity spaces.  
Response - DVT suggests a view fence with a gate, which can be locked if desired.
6. Neighbors prefer a for sale community.  
Response – DVT responded that they will develop and sell the Townhomes so there will be ownership responsibility.

7. Neighbor Diane – doesn't mind townhomes but does mind the 1000 acre Nationwide development. Believes it will change the whole community.

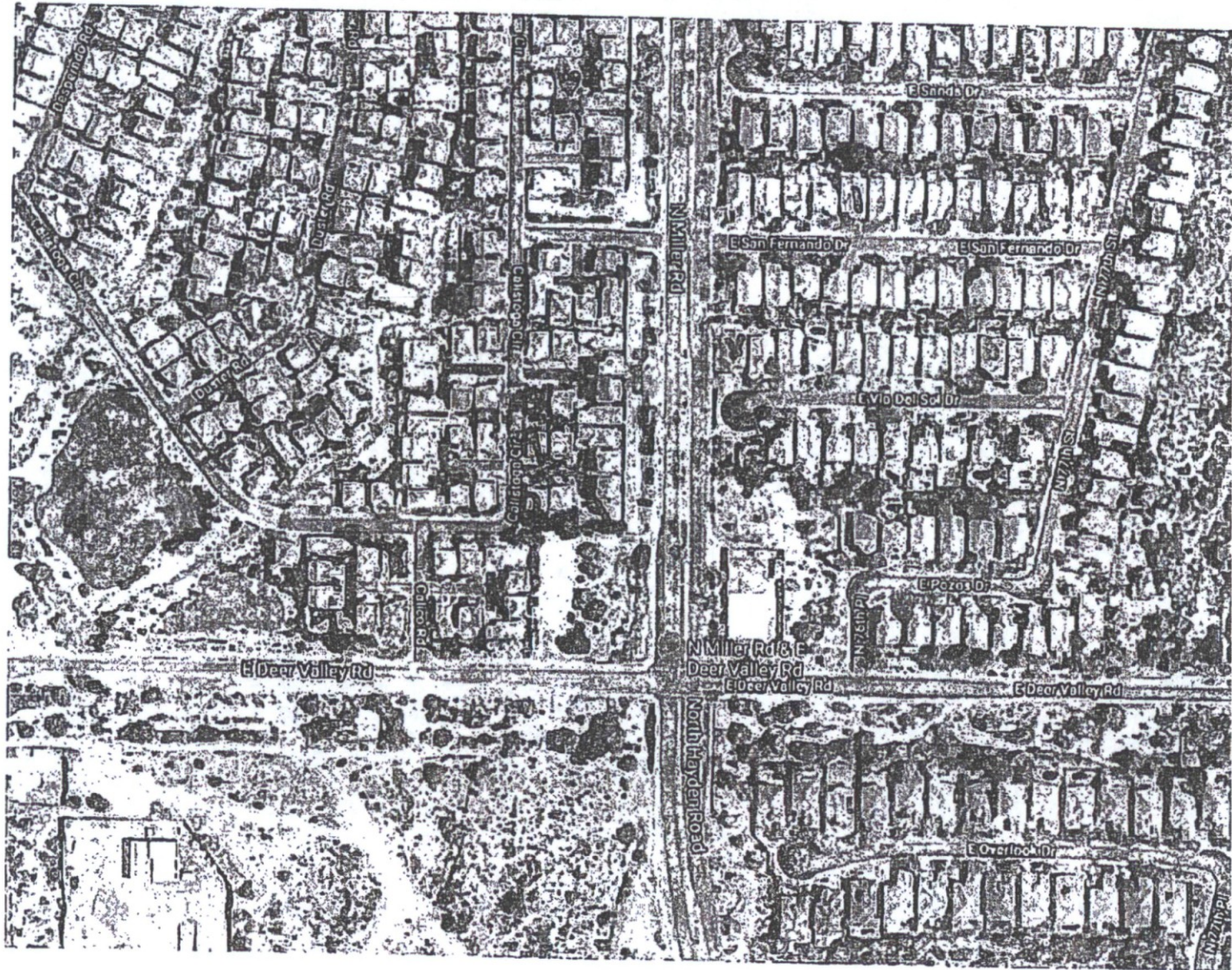
Response – DVT thinks with so many job created by the Nationwide development, there will be shortage of housing in this neighborhood.

8. Concerns about noise and barking dogs, what will be done or who do they contact for DVT.

Response - DVT will have a similar standard same as Silverado Neighborhood.

Overall, the neighbors appreciated the presentation and for letting them know what is going on. They liked the project and the meeting adjourned with a round of applause from the neighbors.

Google Maps N Miller Rd & E Deer Valley Rd



# DEER VALLEY TOWNHOMES

Monday, October 29, 2018

	Print Name	Address	Phone #	E-mail
①	DIANE SCHREAGER	7634 E. SAN FERNANDO	480-502-9344	LIGHTENY004
*2	MICHELLE OTSTOT	7500 E. Deer Valley Rd Unit 20	480-227-4337	otstot126
3	Sophra Lucey	"	480-254-3698	Sophra. estrada russi
*4	CHARLES DONISTO	7500 DEER VALLEY #22 250 17051 E. RANDOL FOUNTAIN HILLS	480-225-4097	KIMOI7psi
*5	Charles Kulish	" "	480-297-9253	Charles Kulish
*6	Brad & Darcy Clement	7500 E. Deer Valley Rd Lot 67	480-326-7047	hooha1@cox.s
*7	Audrey Bond	7500 E. Deer Valley Rd. # 11	480-419-3578	audreybond@
*8	Deborah Stec	7500 E. Deer Valley Rd Unit 16	480-540-1367	deborahstec@
9	Will LeSuer	7500 E. Deer Valley Rd #27	480-282-1253	WLeSuer@
*10	Andrea Siemon	" " # 27	480-861-0979	Siemon.andi
11				
12				

\* contact to walk

**WHITNEYBELL PERRY INC**  
ARCHITECTURE & PLANNING  
575 W. Chandler Blvd Suite 123 •  
Chandler, AZ 85225

October 16, 2018

## Neighborhood Meeting Notification.

Case number: 3-ZN-2017 Deer Valley Townhomes

Dear Area Neighbor,

We invite you to a neighborhood meeting to learn more about the Town Home project proposed at the Northwest corner of Miller Road and Deer Valley. The existing 1-acre site will be developed into 9 townhome units.

The meeting will be held at the below listed time and place. Discussions at the meeting will include an overview of the proposed development, the architectural character, and address questions you may have.

The neighborhood meeting will be held:

Monday, October 29, 2018  
6:00 pm – 7:00 pm  
Rooms: 1 and 2

Appaloosa Library,  
7377 E. Silverstone Drive  
Scottsdale, AZ 85255  
480-312-7323

Sincerely,

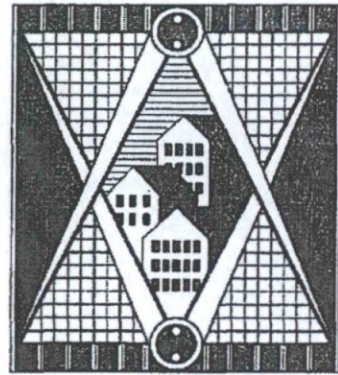


By: James Michael Perry AIA, NCARB, LEED AP  
Principal

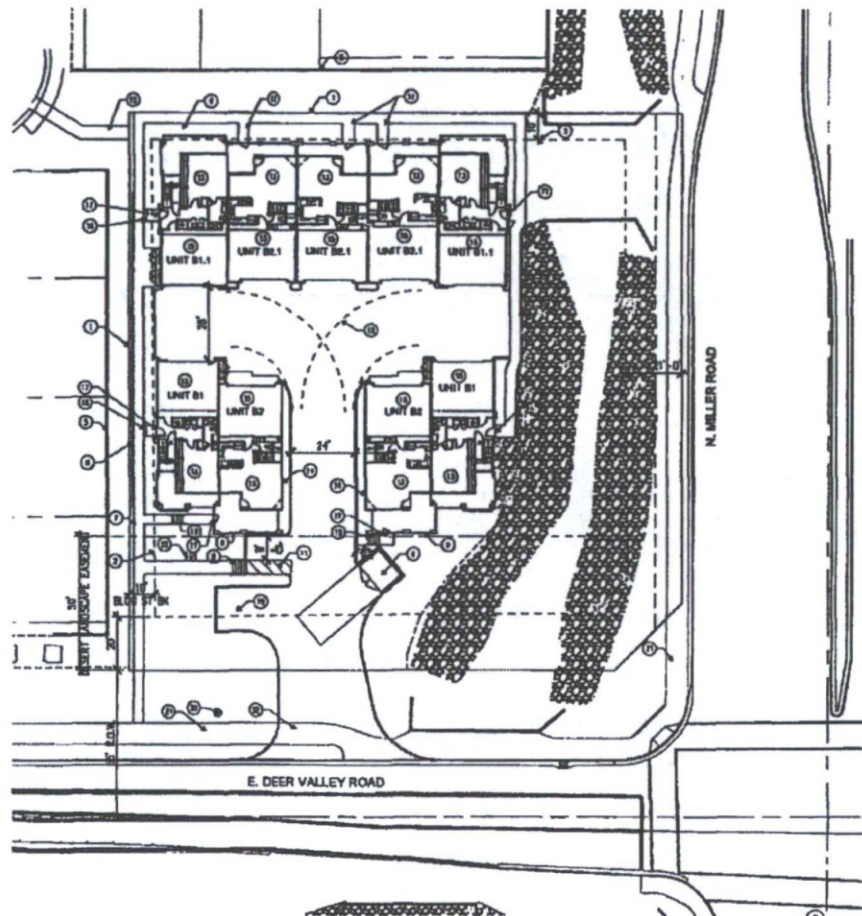
Phone 602-265-1891 • direct line 480-963-2911  
Email: [mike@whitneybellperry.com](mailto:mike@whitneybellperry.com)

cc: City of Scottsdale Planning Department.

WHITNEYBELL PERRY INC  
ARCHITECTURE & PLANNING



PHOENIX • CHANDLER



**SITE PLAN**

SCALE 1" = 10'-0"



**DEVELOPMENT DATA**

**DEVELOPMENT INFORMATION**  
 DEVELOPER: [REDACTED]  
 ARCHITECTURAL: [REDACTED]  
 CIVIL: [REDACTED]  
 LANDSCAPE: [REDACTED]

**LANDSCAPE**  
 PLANTING: [REDACTED]  
 IRRIGATION: [REDACTED]  
 LIGHTING: [REDACTED]

**SITE DATA**

**GENERAL**  
 LOT AREA: [REDACTED]  
 BUILDING AREA: [REDACTED]  
 SITE COVERAGE: [REDACTED]  
 BUILDING HEIGHT: [REDACTED]  
 UNIT MIX: [REDACTED]

**UNIT MIX**  
 UNIT TYPE: [REDACTED]  
 UNIT COUNT: [REDACTED]  
 UNIT AREA: [REDACTED]  
 UNIT PRICE: [REDACTED]

**FINISHES**  
 FLOORING: [REDACTED]  
 WALLS: [REDACTED]  
 CEILING: [REDACTED]  
 LIGHTING: [REDACTED]  
 SINKS: [REDACTED]  
 STOVE: [REDACTED]  
 DISHWASHER: [REDACTED]  
 REFRIG: [REDACTED]  
 FREEZER: [REDACTED]  
 MICROWAVE: [REDACTED]  
 TOASTER: [REDACTED]  
 KETTLE: [REDACTED]  
 BLENDER: [REDACTED]  
 TOASTER OVEN: [REDACTED]  
 RICE COOKER: [REDACTED]  
 SLOW COOKER: [REDACTED]  
 CROCK POT: [REDACTED]  
 AIR FRYER: [REDACTED]  
 TOAST: [REDACTED]  
 BREAD: [REDACTED]  
 BUTTER: [REDACTED]  
 JAM: [REDACTED]  
 SYRUP: [REDACTED]  
 HONEY: [REDACTED]  
 MARGARINE: [REDACTED]  
 OIL: [REDACTED]  
 VINEGAR: [REDACTED]  
 SALT: [REDACTED]  
 PEPPER: [REDACTED]  
 SPICES: [REDACTED]  
 HERBS: [REDACTED]  
 TEA: [REDACTED]  
 COFFEE: [REDACTED]  
 MILK: [REDACTED]  
 YOGURT: [REDACTED]  
 BUTTER: [REDACTED]  
 CHEESE: [REDACTED]  
 SAUSAGE: [REDACTED]  
 HAM: [REDACTED]  
 BACON: [REDACTED]  
 EGGS: [REDACTED]  
 MEAT: [REDACTED]  
 FISH: [REDACTED]  
 SEAFOOD: [REDACTED]  
 VEGETABLES: [REDACTED]  
 FRUITS: [REDACTED]  
 NUTS: [REDACTED]  
 SEEDS: [REDACTED]  
 GRAINS: [REDACTED]  
 LEGUMES: [REDACTED]  
 BEANS: [REDACTED]  
 LENTILS: [REDACTED]  
 CHICKPEAS: [REDACTED]  
 SOYBEANS: [REDACTED]  
 PEA: [REDACTED]  
 CARROTS: [REDACTED]  
 CELERY: [REDACTED]  
 BROCCOLI: [REDACTED]  
 CAULIFLOWER: [REDACTED]  
 SPINACH: [REDACTED]  
 KALE: [REDACTED]  
 LETTUCE: [REDACTED]  
 TOMATOES: [REDACTED]  
 PEPPERS: [REDACTED]  
 ONIONS: [REDACTED]  
 GARLIC: [REDACTED]  
 SHALLOTS: [REDACTED]  
 POTATOES: [REDACTED]  
 SWEET POTATOES: [REDACTED]  
 YAM: [REDACTED]  
 CASSAVA: [REDACTED]  
 TUBER: [REDACTED]  
 ROOT: [REDACTED]  
 STEM: [REDACTED]  
 LEAF: [REDACTED]  
 SEED: [REDACTED]  
 BUD: [REDACTED]  
 FLOWER: [REDACTED]  
 FRUIT: [REDACTED]  
 VEGETABLE: [REDACTED]  
 HERB: [REDACTED]  
 SPICE: [REDACTED]  
 FLAVOR: [REDACTED]  
 TASTE: [REDACTED]  
 SMELL: [REDACTED]  
 TEXTURE: [REDACTED]  
 COLOR: [REDACTED]  
 SHAPE: [REDACTED]  
 SIZE: [REDACTED]  
 WEIGHT: [REDACTED]  
 VOLUME: [REDACTED]  
 DENSITY: [REDACTED]  
 MOISTURE: [REDACTED]  
 TEMPERATURE: [REDACTED]  
 PRESSURE: [REDACTED]  
 SPEED: [REDACTED]  
 ACCELERATION: [REDACTED]  
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 FREQUENCY: [REDACTED]  
 PERIOD: [REDACTED]  
 WAVELENGTH: [REDACTED]  
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 PHASE: [REDACTED]  
 POLARIZATION: [REDACTED]  
 REFRACTION: [REDACTED]  
 DIFFRACTION: [REDACTED]  
 INTERFERENCE: [REDACTED]  
 SCATTERING: [REDACTED]  
 ABSORPTION: [REDACTED]  
 TRANSMISSION: [REDACTED]  
 REFLECTION: [REDACTED]  
 REFRACTION: [REDACTED]  
 DIFFRACTION: [REDACTED]  
 INTERFERENCE: [REDACTED]  
 SCATTERING: [REDACTED]  
 ABSORPTION: [REDACTED]  
 TRANSMISSION: [REDACTED]  
 REFLECTION: [REDACTED]

**BUILDING DATA**

**GENERAL**  
 BUILDING TYPE: [REDACTED]  
 BUILDING NAME: [REDACTED]  
 BUILDING ADDRESS: [REDACTED]  
 BUILDING CITY: [REDACTED]  
 BUILDING STATE: [REDACTED]  
 BUILDING ZIP: [REDACTED]  
 BUILDING PHONE: [REDACTED]  
 BUILDING FAX: [REDACTED]  
 BUILDING EMAIL: [REDACTED]  
 BUILDING WEBSITE: [REDACTED]  
 BUILDING SOCIAL MEDIA: [REDACTED]  
 BUILDING CONTACT: [REDACTED]

**FINISHES**

**FLOORING**  
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 FLOORING COLOR: [REDACTED]  
 FLOORING PATTERN: [REDACTED]  
 FLOORING TEXTURE: [REDACTED]  
 FLOORING FINISH: [REDACTED]  
 FLOORING MAINTENANCE: [REDACTED]  
 FLOORING REPLACEMENT: [REDACTED]  
 FLOORING DISPOSAL: [REDACTED]  
 FLOORING RECYCLING: [REDACTED]  
 FLOORING SUSTAINABILITY: [REDACTED]  
 FLOORING SAFETY: [REDACTED]  
 FLOORING HEALTH: [REDACTED]  
 FLOORING COMFORT: [REDACTED]  
 FLOORING SOUND: [REDACTED]  
 FLOORING LIGHT: [REDACTED]  
 FLOORING AIR: [REDACTED]  
 FLOORING WATER: [REDACTED]  
 FLOORING FIRE: [REDACTED]  
 FLOORING EARTHQUAKE: [REDACTED]  
 FLOORING TORNADO: [REDACTED]  
 FLOORING HURRICANE: [REDACTED]  
 FLOORING OTHER: [REDACTED]

**LANDSCAPE**

**PLANTING**  
 PLANTING TYPE: [REDACTED]  
 PLANTING COLOR: [REDACTED]  
 PLANTING PATTERN: [REDACTED]  
 PLANTING TEXTURE: [REDACTED]  
 PLANTING FINISH: [REDACTED]  
 PLANTING MAINTENANCE: [REDACTED]  
 PLANTING REPLACEMENT: [REDACTED]  
 PLANTING DISPOSAL: [REDACTED]  
 PLANTING RECYCLING: [REDACTED]  
 PLANTING SUSTAINABILITY: [REDACTED]  
 PLANTING SAFETY: [REDACTED]  
 PLANTING HEALTH: [REDACTED]  
 PLANTING COMFORT: [REDACTED]  
 PLANTING SOUND: [REDACTED]  
 PLANTING LIGHT: [REDACTED]  
 PLANTING AIR: [REDACTED]  
 PLANTING WATER: [REDACTED]  
 PLANTING FIRE: [REDACTED]  
 PLANTING EARTHQUAKE: [REDACTED]  
 PLANTING TORNADO: [REDACTED]  
 PLANTING HURRICANE: [REDACTED]  
 PLANTING OTHER: [REDACTED]

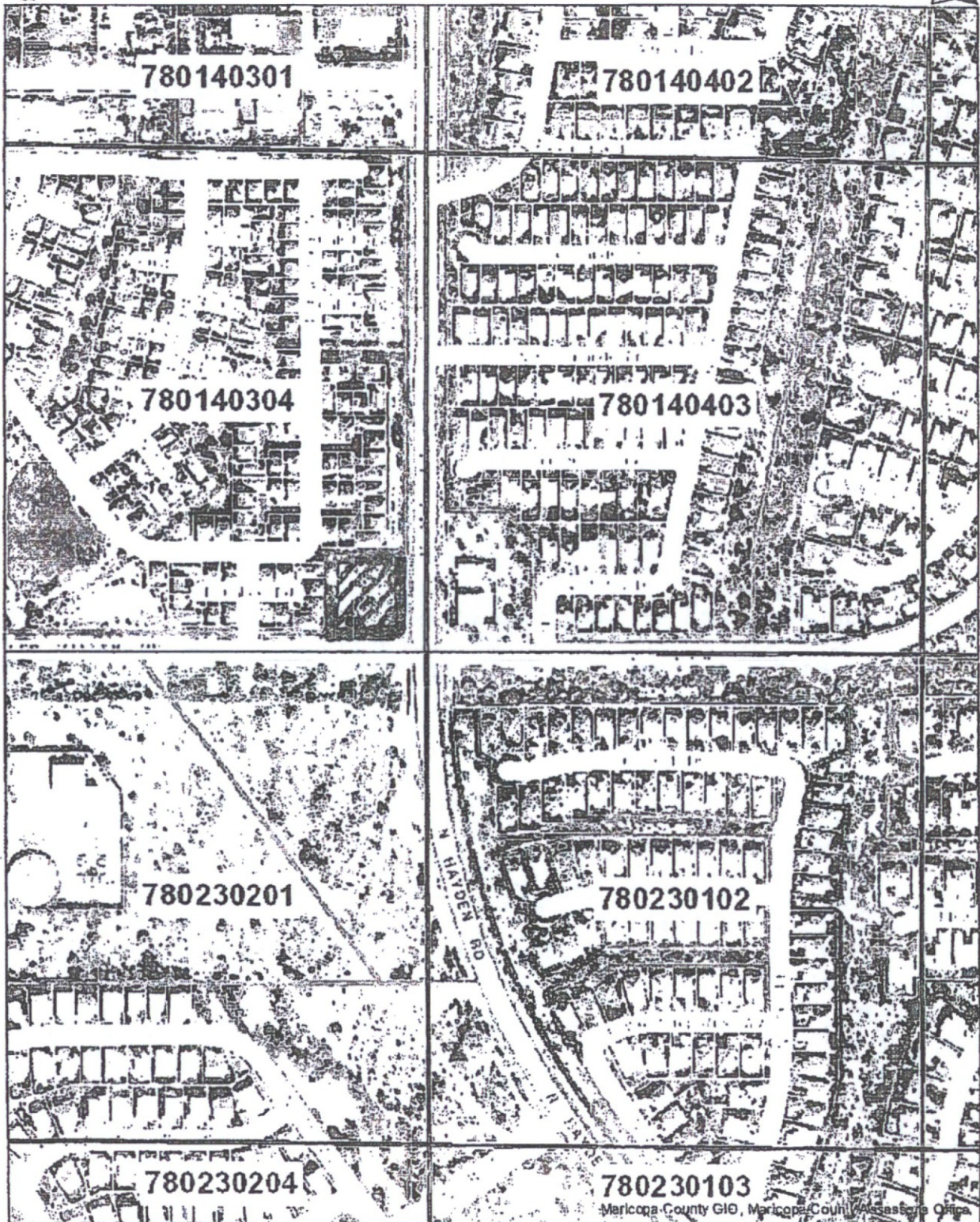
**FINISHES**

**FLOORING**  
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 FLOORING COLOR: [REDACTED]  
 FLOORING PATTERN: [REDACTED]  
 FLOORING TEXTURE: [REDACTED]  
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 FLOORING REPLACEMENT: [REDACTED]  
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 FLOORING SUSTAINABILITY: [REDACTED]  
 FLOORING SAFETY: [REDACTED]  
 FLOORING HEALTH: [REDACTED]  
 FLOORING COMFORT: [REDACTED]  
 FLOORING SOUND: [REDACTED]  
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 FLOORING AIR: [REDACTED]  
 FLOORING WATER: [REDACTED]  
 FLOORING FIRE: [REDACTED]  
 FLOORING EARTHQUAKE: [REDACTED]  
 FLOORING TORNADO: [REDACTED]  
 FLOORING HURRICANE: [REDACTED]  
 FLOORING OTHER: [REDACTED]





# Map





## Neighborhood Meeting Minutes

### **E Project, LLC**

Architecture - Planning

917 W. Kathleen Rd, Phoenix, AZ 85023  
Phone 602.481.9282 Fax 480.359.4407  
E-mail: [edmir@e-projectinternational.com](mailto:edmir@e-projectinternational.com)

DATE: FEBRUARY 28, 2017

RE: Neighbors of 21818 North Miller Road

Case No. 628-PA-2016

Meeting held at Appaloosa Library on 02-27-2016 at 6:00pm

These neighbors' concerns are discussed at the meeting:

#### **1. Location of trash enclosure**

Concerns: Vicinity to North Property Line and noise during trash pickup.

Response: Relocate trash enclosure to the south side of development, at the area of ADA parking. ADA parking to be relocated to west side of south driveway and 2 parallel parking spaces to be added along north driveway.

#### **2. On Site light poles:**

Concerns: Would on site lighting disturb adjacent property owners?

Response: City of Scottsdale Outdoor lighting ordinance is specific in its requirements and development team will conform to all city requirements.

#### **3. On-site parking and guest parking:**

Concerns: There is no enough guest parking and during gatherings parking might overflow to neighboring subdivision?

Response: Development team is providing 3 guest parking spaces which is more than zoning ordinance requires. We have also discussed possibility of closing off passage at Northwest corner to subdivision to the West.

#### **4. Privacy**

Concerns: How is privacy protected to neighbors to the North and to the West?

Response: North Setback: Buildings are oriented East – West and north wall has only clerestory windows. Also distance between existing homes to the north and proposed homes is more than 30 feet.

West Setback: Distance between neighbors houses to the west and proposed homes is 20 feet.

In addition there will be additional landscape buffer to preserve privacy between existing and new homes.

#### **5. Property Values**

Concerns: How will new townhomes affect value of existing homes?

Response: New townhomes will be platted as condominium plat and its value will not be comparable in real estate market to single family homes values.

**6. Walkways and trails**

Concerns: New owners will most likely use other subdivisions parks or walking trails because limited on site facilities.

Response: Our complex has walkways along West and East side and development team will be conforming to City of Scottsdale design guidelines.

Meeting adjourned at 7:00pm.

If you have questions regarding this meeting, please contact our office:

Edmir Dzudza, AIA

Phone : 602-481-9282

Fax : 480-359-4407

E-mail : [edmir@e-projectinternational.com](mailto:edmir@e-projectinternational.com)

cc: City of Scottsdale Current Planning Department

**End of Document**



## Neighborhood Meeting Notification

### E Project, LLC

Architecture - Planning

DATE: FEBRUARY 10, 2017

917 W. Kathleen Rd, Phoenix, AZ 85023  
Phone 602.481.9282 Fax 480.359.4407  
E-mail: edmir@e-projectinternational.com

Dear Area Neighbor:

We invite you to a neighborhood meeting to learn more about the rezoning case at the Northwest corner of Miller Road and Deer Valley. The existing 1 acre site will be developed into 11 townhome units. The neighborhood meeting will be held at the below listed time and place. Discussions at the meeting will include an overview of the proposed development, the architectural character and answers to questions you may have.

The neighborhood meeting will be held:

Monday, February 27, 2017  
6:00 pm - 7:00 pm

Pinnacle Presbyterian Church  
25150 N. Pima Road  
Scottsdale, Arizona 85255  
480.585.9448

Sincerely,

A handwritten signature in dark ink, appearing to read 'Edmir Dzudza'.

Edmir Dzudza, AIA

Phone : 602-481-9282  
Fax : 480-359-4407  
E-mail : edmir@e-projectinternational.com

cc: City of Scottsdale Current Planning Department

End of Document

Page 1 of 1



### OPEN SPACE CALCULATION

MIN. OPEN SPACE:	REQUIRED: 43,561 SF. X 0.36 = 15,682 SF PROVIDED: 2,710 SF + 14,196 SF = 16,906 SF
MIN. FRONTAGE OPEN SPACE:	REQUIRED: 43,561 X 0.12 = 5,227 SF 404.27 x 20 = 8,085.4 SF PROVIDED: 871 + 11,822 = 12,693 SF
PRIVATE OUTDOOR LIVING SPACE:	REQUIRED: 10% OF EACH UNIT GROSS AREA PROVIDED: 88 + 88 + 200 = 376SF > 1826SF X 0.10 = 180SF

### PARKING CALCULATION

PARKING REQUIREMENTS:	REQUIRED: EACH TOWNHOME 2 PARKING SPACES PROVIDED: EACH TOWNHOME 2 PARKING SPACES IN PRIVATE GARAGES
GUEST PARKING:	NO REQUIREMENTS PROVIDED: 3 PARKING SPACES

### DENSITY CALCULATION

GROSS SITE AREA:	59,939 SF
59,927 / 3,770 =	15.84 UNITS ALLOWED
18.54	11 UNITS PROVIDED

### KEY

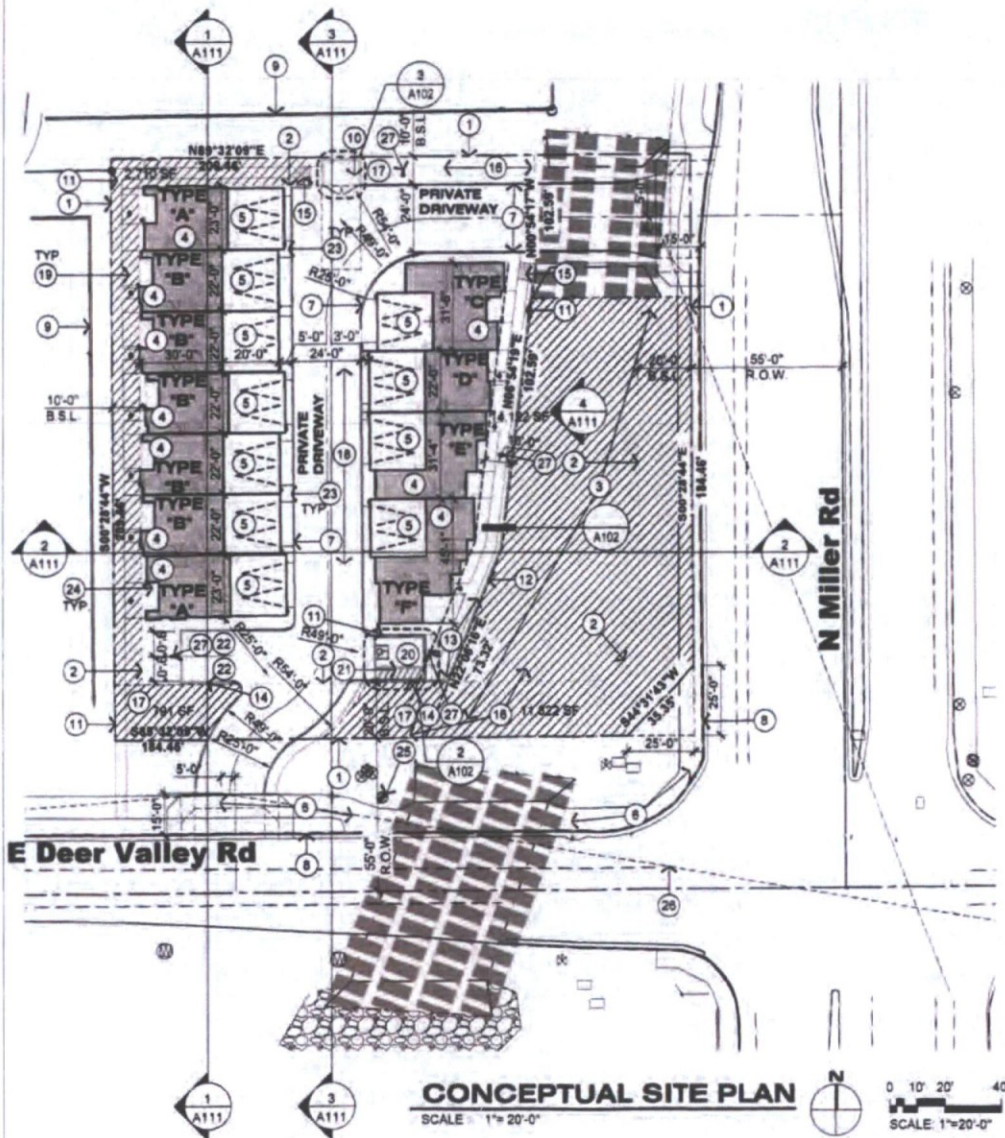
1. DEVELOP
2. SETBACK / DRAINAGE
3. NEW BULL
4. PRIVATE 2
5. EXISTING
6. NEW 8' CU
7. EXISTING
8. EXISTING
9. EXISTING
10. NEW TRAS
11. NEW WAL
12. NEW RETA
13. ELEVATION
14. GREEN BE
15. 38' HIGH S
16. ADA ACCE
17. LANDSCAP
18. OPEN SPA
19. PRIVATE C
20. ENTRANCE
21. 11 FEET W
22. 5 FEET W
23. PARKING I
24. LANDSCAP
25. PRIVATE C
26. EXISTING
27. SITE VISIB
28. LIGHT POL
29. LIGHTING

### SITE

LOCATION: VALLEY RD ADDRESS:  
PARCEL #:  
NET AREA: 43:  
GROSS AREA: 11  
SOUTH: 11  
EAST: 11  
SOUTHEAST: 11  
TOTAL GROSS: 43,560.00 + 10.

EXISTING ZON  
PROPOSED ZC

### VICIN





## Cover Letter

### E Project, LLC

Architecture - Planning

DATE: FEBRUARY 10, 2017

917 W. Kathleen Rd, Phoenix, AZ 85023  
Phone 602.481.9282 Fax 480.359.4407  
E-mail: edmir@e-projectinternational.com

Superintendent

Paradise Valley Unified School District

Case No. 628-PA-2016

Dear Madam or Sir,

This letter is being sent to you pursuant to City of Scottsdale Zoning Code (Ordinance No. 455), Article I, Administration And Procedures, Section 1.1500, Collaborative City And School Planning.

Please be advised that we are applying for a rezoning application that changes the zoning classification(s) from non-residential to residential classifications, and/or changes the residential zoning Or stipulation(s) resulting in greater residential densities allowed on the subject property. The property is currently zoned for no residential units; our application will result in a total of 11 units allowed, an increase of 1100%.

Enclosed please find a detailed project narrative, a location map, site plan and the Determination Form required by the City per the above Ordinance. I would like to schedule a meeting with you to discuss the above proposal. I can be reached at:

Edmir Dzudza, AIA

Sincerely,

Phone : 602-481-9282  
Fax : 480-359-4407  
E-mail : edmir@e-projectinternational.com

cc: City of Scottsdale Current Planning Department

End of Document

Page 1 of 1



PLANNING DEPARTMENT  
2017 FEB 21 AM 10:32

## SCHOOL DISTRICT Determination of Adequate Facilities

City of Scottsdale Project Number: 628 -PA- 2016

Project name: Deer Valley Townhomes

Project Location 21818 N Miller Rd

Applicant Name: Beardley 22, Inc

Phone: 602-481-9282

Applicant E-mail: edmir@e-projectinternational.com

Fax: 480-359-4407

School District: Paradise Valley Unified

I, Laura Felten hereby certify that the following determination has been made in regards to the Referenced project:

- ☒ The school district had adequate school facilities to accommodate the projected number of additional students generated by the proposed rezoning within the school district's attendance area; or
- ☐ The school district will have adequate school facilities via a planned capital improvement to be constructed within one year of the date of notification of the district and located within the school district's attendance area; or
- ☐ The school district has determined an existing or proposed charter school as contracted by the district can provide adequate school facilities for the projected increase in students; or
- ☐ The applicant and the school district have entered into an agreement to provide, or help to provide, adequate school facilities within the school district's attendance area in a timely manner (a copy said agreement is attached hereto); or
- ☐ The school district does not have adequate school facilities to accommodate projected growth attributable to the rezoning.

Attached are the following documents supporting the above certification:

- ☐ Maps of the attendance areas for elementary, middle and high schools for this location.
- ☐ Calculations of the number of students that would be generated by the additional homes.
- ☐ School capacity and attendance trends for the past three years.

Or,

I, \_\_\_\_\_, hereby request a thirty (30) day extension of the original discussion and response time.

[Signature]  
Superintendent or Designee

2/22/17  
Date

### Planning and Development Services Department

7447 E. Indian School Road, Suite 105, Scottsdale, AZ 85251 • Phone: 480-312-7000 • Fax: 480-312-7088

## Murillo, Jesus

---

**From:** Murillo, Jesus  
**Sent:** Thursday, April 04, 2019 4:48 PM  
**To:** kimo17051@gmail.com  
**Subject:** 3-ZN-2017

Hello Mr. Dionisio,

My name is Jesus Murillo, I am a planner here with the City. I am providing an update on an email staff received from you in February of last year in regards to the above-mentioned case. I wanted to let you know that it appears that the case will be presented before the Planning Commission on April 24, 2019. If the case is heard on this date, the possible City Council hearing date would be May 21, 2019. Please feel free to contact me with any further questions or comments. I will send you a link to the report once it has been finalized.

Sincerely,

Jesús Murillo  
Senior Planner  
City of Scottsdale  
Planning and Development Services  
7447 E. Indian School Road, Ste. 105  
Scottsdale, AZ 85251  
Phone: 480-312-7849  
Fax: 480-312-9037

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follow us on Facebook

Twitter

## Murillo, Jesus

---

**From:** Murillo, Jesus  
**Sent:** Thursday, April 04, 2019 4:44 PM  
**To:** emmy@skylightresearch.com  
**Subject:** 3-ZN-2019

Hello Ms. Johnson,

My name is Jesus Murillo, I am a planner here with the City. I found an email you sent to the City back in March of 2017 in regards to the above-mentioned case. I wanted to give you an update, and let you know that it appears that the case will be presented before the City Council on April 24, 2019. If it goes on this date, the possible City Council hearing date would be May 21, 2019. Please feel free to contact me with any further questions or comments. The applicant performed an open house this last October, but I did not see your name as an attendee – hence the email. I will send you a link to the report once it has been finalized.

Sincerely,

Jesús Murillo  
Senior Planner  
City of Scottsdale  
Planning and Development Services  
7447 E. Indian School Road, Ste. 105  
Scottsdale, AZ 85251  
Phone: 480-312-7849  
Fax: 480-312-9037

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twitter

## Murillo, Jesus

---

**From:** Murillo, Jesus  
**Sent:** Thursday, April 04, 2019 4:43 PM  
**To:** '4judy@cox.net'  
**Subject:** 3-ZN-2017

Hello Ms. Weller,

My name is Jesus Murillo, I am a planner here with the City. I found an email you sent to the City back in March of 2017 in regards to the above-mentioned case. I wanted to give you an update, and let you know that it appears that the case will be presented before the City Council on April 24, 2019. If it goes on this date, the possible City Council hearing date would be May 21, 2019. Please feel free to contact me with any further questions or comments. The applicant performed an open house this last October, but I did not see your name as an attendee – hence the email. I will send you a link to the report once it has been finalized.

Sincerely,

Jesús Murillo  
Senior Planner  
City of Scottsdale  
Planning and Development Services  
7447 E. Indian School Road, Ste. 105  
Scottsdale, AZ 85251  
Phone: 480-312-7849  
Fax: 480-312-9037

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Twitter

## Murillo, Jesus

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**From:** Castro, Lorraine  
**Sent:** Monday, February 12, 2018 8:03 AM  
**To:** kimo17051@gmail.com  
**Cc:** Murillo, Jesus  
**Subject:** RE: Case Number: 3-ZN-2017

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

From what I can see there is no activity on this case.

I will forward this to the Coordinator Jesus Murillo, to see if he has anything he can add to this email.

Thanks,

*Lorraine Castro*

**Planning Specialist**  
**City of Scottsdale**  
Planning and Development Services  
[Lcastro@ScottsdaleAZ.gov](mailto:Lcastro@ScottsdaleAZ.gov)  
480-312-7620

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**From:** kimo17051@gmail.com [mailto:kimo17051@gmail.com]  
**Sent:** Sunday, February 11, 2018 3:34 PM  
**To:** Castro, Lorraine <Lcastro@scottsdaleaz.gov>  
**Subject:** Case Number: 3-ZN-2017



I own the property adjacent to the prosposed land development. Can you tell me the status of this project? Thank You, Charles -- sent by Charles Dionisio (case# 3-ZN-2017)



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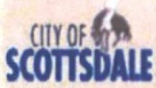
## Castro, Lorraine

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**From:** emmy@skylightresearch.com  
**Sent:** Thursday, March 30, 2017 11:23 AM  
**To:** Castro, Lorraine  
**Subject:** case # 3-ZN-2017 DEER VALLEY TOWNHOMES



Hello, Thank you for letting us know about this plan. I strongly oppose making that parcel into multi-unit dwellings. The amount of medium to high density homes being allowed in the area is negatively impacting the area with increased traffic congestion and decreasing mountain views. Please let me know what I should to further my cause. Thank you! -- sent by Emily Johnson (case# 3-ZN-2017)



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**Castro, Lorraine**

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**From:** 4judy@cox.net  
**Sent:** Monday, March 27, 2017 2:27 PM  
**To:** Castro, Lorraine  
**Subject:** Case#3-ZN-2017



I am completely against this application for zoning change. There is too much density in the area now, and this property is way too small to accommodate anything like what they are requesting. Please keep me informed. Judy Weller -- sent by Judy Weller (case# 3-ZN-2017)

**Murillo, Jesus**

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**Subject:** 3-ZN-2017

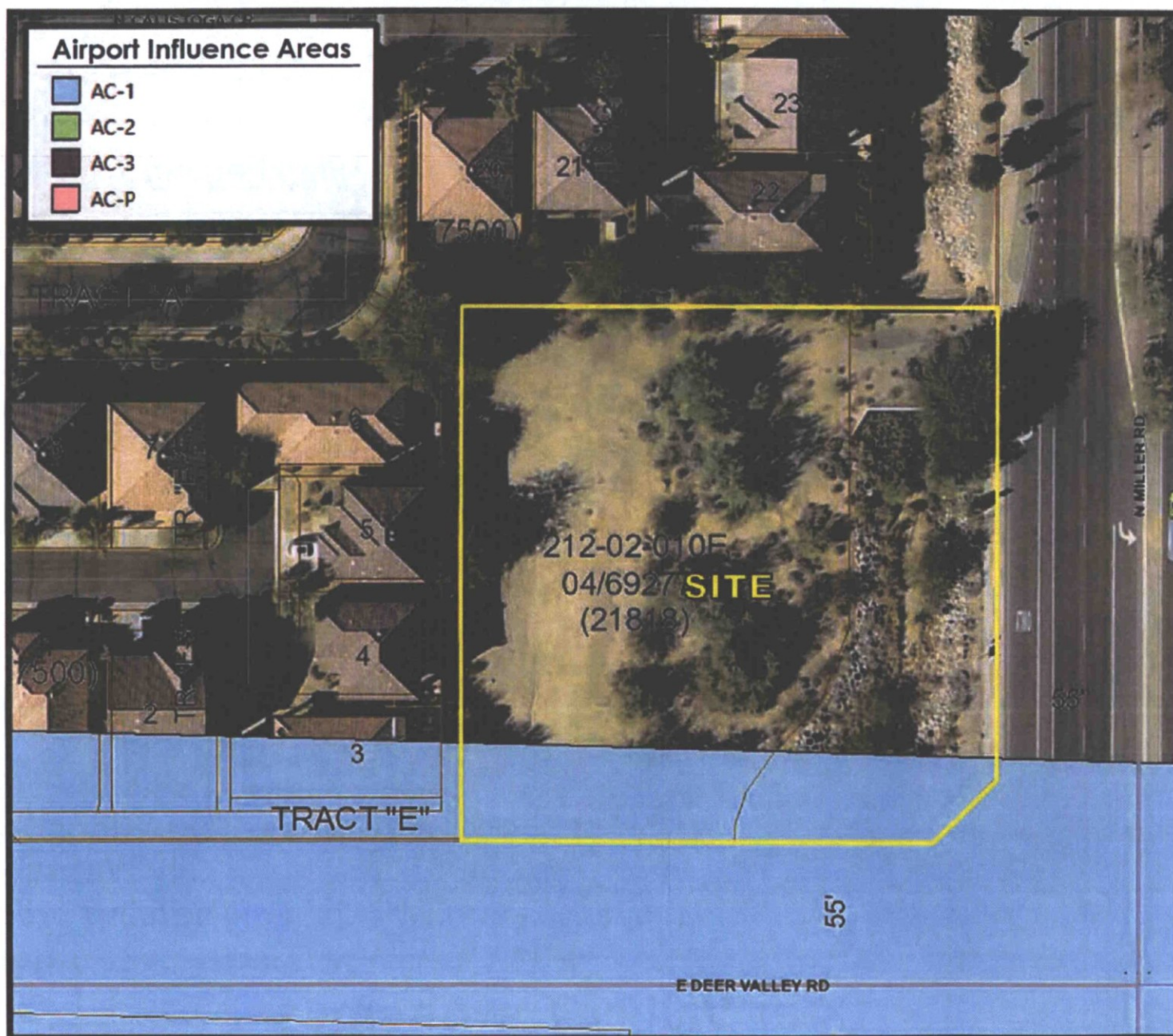
**From:** James Kendra <[tractorjk@gmail.com](mailto:tractorjk@gmail.com)>  
**Sent:** Thursday, April 18, 2019 8:28 AM  
**To:** Projectinput <[Projectinput@Scottsdaleaz.gov](mailto:Projectinput@Scottsdaleaz.gov)>  
**Subject:** 3-ZN-2017

Planning commission:

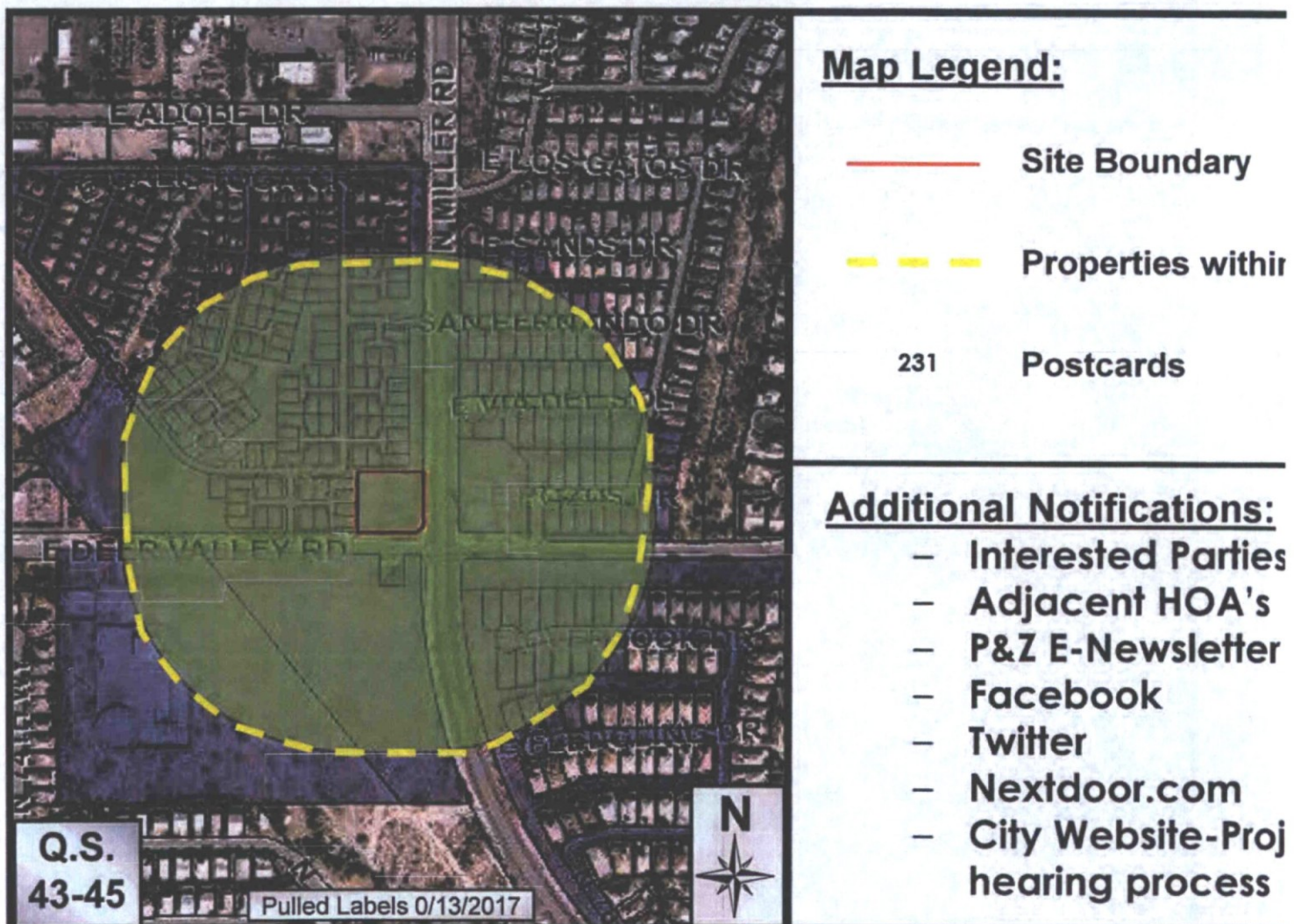
I am against these townhome being built in this area there's a large ditch next to it very dangerous for kids, more traffic, more noise, too close to current houses on both sides.

Thank you

James Kendra  
616-498-1451



## City Notifications – Mailing List Selection Map



# Deer Valley Townhomes

2-2



**SCOTTSDALE PLANNING COMMISSION  
KIVA-CITY HALL  
3939 DRINKWATER BOULEVARD  
SCOTTSDALE, ARIZONA**

**WEDNESDAY, APRIL 24, 2019**

**\*DRAFT SUMMARIZED MEETING MINUTES \***

**PRESENT:** Paul Alessio, Chair  
Prescott Smith, Vice Chair  
Kevin Bollinger, Commissioner-Phone  
Christian Serena, Commissioner  
Ali Fakh, Commissioner  
Larry S. Kush, Commissioner

**STAFF:** Tim Curtis  
Joe Padilla  
Meredith Tessier  
Chris Zimmer  
Lorraine Castro

**CALL TO ORDER**

Chair Alessio called the regular session of the Scottsdale Planning Commission to order at 5:01 p.m.

**ROLL CALL**

A formal roll call was conducted confirming members present as stated above.

**MINUTES REVIEW AND APPROVAL**

1. Approval of April 10, 2019 Regular Meeting Minutes including Study Session.  
Commissioner Serena moved to approve the April 10, 2019 Regular Meeting Minutes, including Study Session, seconded by Vice Chair Smith.  
The motion carried unanimously with a vote of six (6) to zero (0); by Chair Alessio, Vice Chair Smith, Commissioner Fakh, Commissioner Bollinger, and Commissioner Serena, Commissioner Kush.

\* Note: These are summary action minutes only. A complete copy of the meeting audio is available on the Planning Commission page on [ScottsdaleAZ.gov](http://ScottsdaleAZ.gov), search "Planning Commission"

## CONSENT AGENDA

2. 3-ZN-2017 (Deer Valley Townhomes)

Request by applicant for a zoning map amendment, for a +/-1-acre site (212-02-010E), from the Planned Convenience Center (PCoC) district, to the Medium Density Residential (R-3) district, to allow for the development of a 9-unit, townhome community, located on the northwest corner of E. Deer Valley Road and N. Miller Road, at 21818 N. Miller Road. Staff contact person is Jesus Murillo, 480-312-7849. **Applicant contact person is Masuda Yasmin, 602-265-1891 x208.**

3. 16-UP-2018 (The Living Room Gainey Ranch)

Request by applicant for approval of a Conditional Use Permit for live entertainment in a +/- 9670 sqft. restaurant located at 8977 N. Scottsdale Rd suite 500 with Central Business Planned Community District (C-2 PCD) zoning. Staff contact person is Doris McClay, 480-312-4214. **Applicant contact person is Tony Eden, 480-244-3573.**

**Move to make a recommendation to City Council for approval of 3-ZN-2017 and 16-UP-2018 by a vote of 6-0: Motion by Commissioner Kush, per the staff recommended stipulations, finding that the Zoning District Map and amendments are consistent and conform with the adopted General Plan, and after determining that the Conditional Use Permit criteria have been met. 2<sup>nd</sup> by Commissioner Bollinger.**

Request to speak card: James Funk

**The motion carried unanimously with a vote of six (6) to zero (0); by Chair Alessio, Vice Chair Smith, Commissioner Fakih, Commissioner Bollinger, and Commissioner Serena, Commissioner Kush.**

## REGULAR AGENDA

4. 4-ZN-2018 & 2-II-2018 (The Goldwater)

Request by owner for approve of an Infill Incentive District application and Zoning District Map Amendment from Downtown/Residential Hotel-Type 2, Downtown Overlay (D/RH-2, DO) to Downtown/Downtown Multiple Use - Type 2 Planned Block Development Overlay, Downtown Overlay (D/DMU-2, PBD, DO) zoning including a development plan with amended development standards, for a mixed use development with a building height of 70 feet on a +/-1.19-acre site located at 7000 E. 4th Street. Staff contact person is Meredith Tessier, 480-312-4211. **Applicant contact person is Robert A. Ballard, 480-203-8661.**

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5. 5-AB-2018 (The Goldwater Abandonment)

Request by owner to abandon ten feet of right of way located on the north half E. 4th St. and a portion of N. 70th Street for the property located at 7000 E. 4th St., currently zoned Downtown/Residential Hotel-Type 2, Downtown Overlay (D/RH-2, DO) zoning located at 7000 E. 4th Street. Staff contact person is Meredith Tessier, 480-312-4211. **Applicant contact person is Robert A. Ballard, 480-203-8661.**

- **Items No 4 & 5: Move Cases 4-ZN-2018, 2-II-2018, & 5-AB-2018 from Consent Agenda to Regular Agenda**
- **Move to make a recommendation to City Council for approval of cases 4-ZN-2018, 2-II-2018 & 5-AB-2018 by a vote of 6-0: Motion by Commissioner Kush, per the staff recommended stipulations, after determining that the Planned Block Development Overlay criteria and Infill Incentive Plan Criteria have been met, and determine that the proposed zoning district map amendment is consistent and conforms with the adopted General Plan and the adopted Old Town Character Area Plan, and based upon the finding that the Abandonment is consistent and conforms with the adopted General Plan. 2<sup>nd</sup> by Commissioner Bollinger.**

Request to speak card: Steve Ontneros

**The motion carried unanimously with a vote of six (6) to zero (0); by Chair Alessio, Vice Chair Smith, Commissioner Fakh, Commissioner Bollinger, and Commissioner Serena, Commissioner Kush.**

6. Public Involvement

Possible recommendation to City Council regarding current public involvement practices for zoning and other development related cases. Staff contact person is Tim Curtis, 480-312-2812.

**Move to make a recommendation to City Council to review the public outreach process as it relates to Planning and Zoning by a vote of 5-1: Vice Chair Smith dissenting. Motion by Commissioner Serena, 2<sup>nd</sup> by Commissioner Fakh**

Request to speak cards: Dana Close, Susan Bittersmith, Christie Lee Kinchen, Betty Janik

Written card: Cathy Davis

**The motion carried unanimously with a vote of five (5) to one (1); by Chair Alessio, Commissioner Fakh, Commissioner Bollinger, and Commissioner Serena, Commissioner Kush with Vice Chair Smith dissenting.**

**ADJOURNMENT**

With no further business to discuss, the regular session of the Planning Commission adjourned at 6:45 p.m.

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